

A-6378 Variance Requests (a & b)

Construct a second floor addition above an existing single story:

A) the soffit and gutter of which would encroach a maximum of one foot, four and three-quarter inches (1' - 4 $\frac{3}{4}$ ") into the seven (7) foot east (side) yard setback;

and a second floor addition above an existing single story:

b) that would encroach a maximum of four feet, five and one-quarter inches (4' - 5 $\frac{1}{4}$ ") forward of the twenty-five (25) foot front (Summerfield Road) building restriction line.

Ms. Sydney Bray &
Mr. William John Bray III
104 Oxford Street

CHEVY CHASE VILLAGE
BOARD OF MANAGERS
JULY 8, 2013 MEETING

STAFF INFORMATION REPORT

TO: BOARD OF MANAGERS

FROM: ELLEN SANDS, PERMITTING AND CODE ENFORCEMENT COORDINATOR

DATE: 7/5/2013

SUBJECT: HEARING OF APPEAL CASE NO. A-6378 (A&B) VARIANCE REQUESTS
MS. SYDNEY BRAY & MR. WILLIAM JOHN BRAY III, 104 OXFORD STREET
TO CONSTRUCT A SECOND FLOOR ADDITION ABOVE AN EXISTING SINGLE STORY:
A) THE SOFFIT AND GUTTER OF WHICH WOULD ENCROACH A MAXIMUM OF ONE FOOT, FOUR AND THREE-QUARTER INCHES (1'-4 ¾") INTO THE SEVEN (7) FOOT EAST (SIDE) YARD SETBACK; AND
B) THAT WOULD ENCROACH A MAXIMUM OF FOUR FEET, FIVE AND ONE-QUARTER INCHES (4'-5 ¼") FORWARD OF THE TWENTY-FIVE (25) FOOT FRONT (SUMMERFIELD ROAD) BUILDING RESTRICTION LINE.

CASE SYNOPSIS: The Applicants request two variances to construct a second floor over portions of the existing one-story house. A portion of the existing house encroaches into the seven (7) foot side yard setback and another portion is forward of the front (Summerfield Road) building restriction line. There is no change to the footprint of the house, and no expansion of the existing encroachments, however the Village does not "grandfather" in alignment with existing non-conformities, hence two variances are required.

IMPORTANT ASPECTS:

- A proposed second floor over an existing first floor; no change to footprint.
- Existing house encroaches both in the east side yard setback and forward of the front building restriction line.
- No proposed expansion of existing encroachments.
- Case a), in the east (side) yard, is not a covenant setback issue; Case b), the Summerfield Road (front) yard, is a covenant setback issue.

NOTICE REQUIREMENTS: Abutting Owners; Public Notice

APPLICABLE CHEVY CHASE BUILDING REGULATION:

The Chevy Chase Village Code § 8-17 (g) states:

No part of any building, structure or play equipment shall be erected or maintained within seven (7) feet of the side or rear lot lines, nor within ten (10) feet of the nearest adjacent dwelling.

Additionally:

The Chevy Chase Village Code § 8-17 (c) states:

No structure or play equipment of any description shall be erected within twenty-five (25) feet of the front line of any lot.

APPLICABLE COVENANTS:

“No part of any house or structure appurtenant thereto shall be erected or maintained within five (5) feet of the side lines of premises hereby conveyed nor within ten (10) feet of the nearest adjacent house”.

Additionally:

“That no structure of any description shall be erected within twenty-five (25) feet of the front line of said premises; and that no stable, carriage-house, shed, or outbuilding shall be erected except on the rear of said premises.”

FACTUAL AND BACKGROUND INFORMATION:

This is an oddly shaped corner lot and the existing house is located approximately six (6) inches from the private alley.

Section 7 was annexed to Chevy Chase Village in 1972.

In the east (side) yard, a portion of the existing one story house encroaches a maximum of two feet, ten inches (2'-10") into the setback, however this portion will not have a new second floor above it.

The soffit and gutter of the proposed second floor would encroach one foot, four and three-quarters inches (1'4 ¾") into the east (side) yard setback.



Figure 1 (related to Case A): View of the property looking northwest. The proposed second floor would commence to the right of the yellow line and be located to the north (towards the yellow arrow) over a portion of the first floor. No second floor is proposed to the left of the yellow line, nor over the existing projecting one-story bay (see plans provided by the Applicants).



Figure 2: View of the east yard looking south. The proposed second floor aligns with the main wall of the house; no second floor is proposed over the projecting bay to the left.

In the front (Summerfield Road) yard, the existing house encroaches a maximum of approximately six feet, ten inches (6'-10") forward of the front building restriction and covenant setback line.



Figure 3: View of 104 Oxford Street from Summerfield Road. The one-story gabled portion of the house on the right encroaches approximately six feet, ten inches (6'-10") forward of the front (Summerfield Road) building restriction and covenant setback line (see plat).



Figure 4: The parapet on this portion of the existing single story would be removed. A new second floor would be constructed to the left of the vertical yellow line. A new one-story roof would be constructed to the right of the yellow line and would slope back to meet the portion of the proposed second floor addition that would be stepped back from the front wall - see drawings provided by Applicants. Note the further encroachment to the left; no work is proposed over that area.



Figure 5: Side view of the subject area.

In previous cases involving covenant setbacks and front building line restrictions, the Board has found that the covenants were not enforceable in the following circumstances:

- 1) Where uncovered steps and stoops are installed as a matter of necessity to address the change in elevation from the ground to the entrance of a house, and which steps and stoops are the minimum necessary to provide reasonable access, these steps and stoops are not considered structures for the purposes of the covenants.
- 2) When uncovered steps and stoops were constructed at the time that the covenants applicable to the property were placed, or shortly thereafter, it was presumed that the covenant authors did not intend those protrusions to be classified as "structures" for the purposes of the covenants.
- 3) Where a large percentage of properties on the same block had encroachments or projections of a certain type forward of the front building and covenants restriction line it was presumed that the covenant authors did not intend those encroachments or protrusions to be classified as "structures" for the purposes of the covenants.

4) When the original structure encroaches forward of the setbacks.

5) When the proposed encroachment does not expand an existing encroachment.

No tree removals are requested related to the proposed work; a tree protection plan would be required for the project.

To date one letter has been received from an abutting neighbor (106 Oxford Street- see page 23) in opposition to the proposed requests. No letters of support have been received regarding the requests.

Applicable Fees: Building Permit Application: \$30; Variance Application Fee: \$300; TOTAL: \$330.

RELEVANT PRECEDENTS:

Recent precedents for Case A (encroachments into the side yard setback):

In January of 2013, Mr. & Mrs. Edward Rubenstein were granted permission to **reconfigure** the roof and soffit over an existing one-story garage. In April of 2012, Mr. & Mrs. John Campanella of 22 Hesketh Street were granted permission to **construct** a second floor over an existing one-story sunroom, the soffit of which would encroach a maximum of six and one-half (6-½) inches into the seven (7) foot side (east) yard setback. Also in April 2012, Dr. & Mrs. Charles Bahn of 118 Hesketh Street were granted permission to **reconfigure** the roof over an existing garage. In May of 2011 Ms. Lucia Grenne and Mr. Norman Piccioni of 37 Quincy Street were granted a variance to **construct** a second floor over an existing first floor, the eave and gutter of which would encroach eighteen and one-half inches (18- ½") into the west seven (7) foot side yard setback. In January of 2009 Mr. Thomas Schaufelberger and Ms. Joanne Kyros of 135 Grafton Street were granted a variance to **modify** the roof line of a previously approved addition, the gutter of which would encroach an

additional six (6) inches into the west seven (7) foot side yard setback for a total encroachment of two feet, six inches. In November of 2009 Mr. Bailey Adams of 5625 Grove Street was granted a variance to **construct** a 2-story rear addition, the soffit and gutter of which would encroach eighteen (18) inches into the southwest seven (7) foot side yard setback. In September of 2007 Mr. & Mrs. Christopher Abell of 14 West Irving Street were granted two variances to remove the existing roof of the house, which had a gable running north-south, and replace it with a new roof with a gable running east to west. The eave and gutter of the new roof encroach sixteen (16) inches forward of the front building restriction line; they also received a variance to **remodel and renovate** a porch that encroaches forward of the front BRL. In April of 2000 Mr. John Gorman and Ms. Susan Shmedes of 45 West Lenox Street were granted a variance to **construct** an addition to the rear of their house which would encroach two (2) feet into the west seven (7) foot side yard setback. On March 9, 1998, Amy Ross and Charles Sherman of 4007 Oliver Street were granted a variance to enclose an existing screened porch and **reconfigure** the porch roof from a flat roof to a gable roof. In a rare case of a variance request for an encroachment into the side yard setback that did not entail a covenant setback issue being **denied**, on March 10, 1997, Oliver Street Venture LLC was denied a variance to **maintain** a bay window overhang that was six feet, five inches (6'-5") from the west (side) property line at 4021 Oliver Street. The bay had been modified from the approved drawings without approval.

Most precedents for encroachments forward of the front building restriction line have been for uncovered stoops and steps that are required by grade to reach the first floor of the house, or for new encroachments forward of the front BRL. This case is uncommon because it is to construct an addition over an existing non-conforming first floor and would not increase an existing encroachment. Closest precedents include:

In February 1999 Mr. John Finneran and Catherine Cotter of Magnolia Parkway were **granted** a variance to construct a stoop and an entrance which encroached seven (7) feet forward of the front (Magnolia Parkway) building restriction line. In July 1998, Mr. Gus Pappaloizos of 6000 Western Avenue was **granted** a variance to construct a garage which would encroach twenty-five (25) feet forward of the front (Western Avenue) building restriction line. On June 20, 1998, Mr. & Mrs. Christopher Knopes of 5804 Cedar Parkway were **granted** a variance to construct an addition which would encroach ten (10) feet forward of the twenty-five (25) foot front (Hesketh Street) building restriction line. Under a previous Code Section 8-7(b) related to the

twenty-five foot front setback, In January 1987 Mr. & Mrs. Sterling Weems of 3933 Oliver Street were **granted** a variance to construct an addition to an enclosed porch which would be set back twenty (20) feet from Cedar Parkway. In December of 1982 Mr. & Mrs. Gary Cohen were granted a variance to construct an addition to their residence which would be located twenty-three (23) feet from the front property line.

FINDINGS REQUIRED:

1. The proposed variance is required because special conditions exist whereby the enforcement of the requirements of the Village Building Code would result in an unwarranted hardship and injustice to the owner.
2. The proposed variance will most nearly accomplish the intent and purpose of the requirements of the Village Building Code; and
3. Except for variances from the requirements of Sections 8-22 [fences], 8-26 [driveways] or Article IV [public rights-of-way] of the Village Regulations, the structure authorized by the proposed variance would not violate any covenant applicable to the property.

Draft Motions

I move to direct staff to draft a decision **APPROVING/DENYING** the variance request in Case A-6378 (a), to construct a second floor addition above an existing single story, the soffit and gutter of which would encroach a maximum of one foot, four and three-quarter inches (1'- 4 ¾") into the seven (7) foot east (side) yard setback, based on the findings that ...

Draft Motion

I move to direct staff to draft a decision **APPROVING/DENYING** the variance request in case A-6378(b), to construct a second floor addition above an existing single story that would encroach a maximum of four feet, five and one-quarter inches (4'-5¼") forward of the twenty-five (25) foot front (Summerfield Road) building restriction line based on the findings that ...

**CHEVY CHASE VILLAGE
NOTICE OF PUBLIC HEARING**

Please take notice that the Chevy Chase Village Board of Managers will hold a public hearing on the 8th day of July, 2013 at 7:30 p.m. The hearing will be held at the Chevy Chase Village Hall at 5906 Connecticut Avenue in Chevy Chase, Maryland.

**APPEAL NUMBER A-6378 (a & b)
MS. SYDNEY BRAY &
MR. WILLIAM JOHN BRAY III
104 OXFORD STREET
CHEVY CHASE, MARYLAND 20815**

The applicants seek a variance from the Board of Managers pursuant to Section 8-11 of the Chevy Chase Village Building Code to construct: a) a second floor addition above an existing single story that would encroach a maximum of one foot, four and three-quarter inches (1' - 4 ¾") into the east (side) yard setback; and b) a second floor addition above an existing single story that would encroach a maximum of four feet, five and one-quarter inches (4' - 5 ¼") into the twenty-five (25) foot front (Summerfield Road) yard setback.

The Chevy Chase Village Code § 8-17 (g) states:

No part of any building, structure or play equipment shall be erected or maintained within seven (7) feet of the side or rear lot lines, nor within ten (10) feet of the nearest adjacent dwelling.

Additionally:

The Chevy Chase Village Code § 8-17 (c) states:

No structure or play equipment of any description shall be erected within twenty-five (25) feet of the front line of any lot.

Additional information regarding this appeal may be obtained at the Chevy Chase Village Office between the hours of 9:00 a.m. and 5:00 p.m. Monday through Friday, may be viewed on the Village website at www.chevychasevillagemd.gov or you may contact the office for this information to be mailed to you.


This notice was mailed to abutting and confronting property owners on the 27th day of June, 2013.

**Chevy Chase Village Office
5906 Connecticut Avenue
Chevy Chase, Maryland 20815
301-654-7300**

MAILING LIST FOR APPEAL A-6378

MR. & MRS. WILLIAM JOHN BRAY III
104 OXFORD STREET
CHEVY CHASE, MD 20815

Mr. & Mrs. Michael Yahuda Or Current Resident 109 Oxford Street Chevy Chase, MD 20815	Ms. Elizabeth Lauck & Mr. Joel Vengrin Or Current Resident 111 Oxford Street Chevy Chase, MD 20815
Mr. Burt L. Schorr Or Current Resident 113 Oxford Street Chevy Chase, MD 20815	Mr. Joseph A. Hawley Or Current Resident 115 Oxford Street Chevy Chase, MD 20815
Mr. & Mrs. Tom Leuba Or Current Resident 102 Oxford Street Chevy Chase, MD 20815	Ms. Tracey B. Smith & Mr. Theodore Patch Or Current Resident 106 Oxford Street Chevy Chase, MD 20815
Mr. & Mrs. Douglas Pagliaro Or Current Resident 102 Summerfield Road Chevy Chase, MD 20815	Mr. & Mrs. Richard T. Farrell Or Current Resident 103 Summerfield Road Chevy Chase, MD 20815
Mr. & Mrs. Gerry Kolosvary Or Current Resident 104 Summerfield Road Chevy Chase, MD 20815	Mr. & Mrs. William F. Ford Or Current Resident 106 Summerfield Road Chevy Chase, MD 20815


I hereby certify that a public notice was mailed to the aforementioned property owners on the 27th day of June 2013.

Ellen Sands
Permitting and Code Enforcement Coordinator
Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815



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CHEVY CHASE VILLAGE

ESTABLISHED 1890

June 27, 2013

Mr. & Mrs. William John Bray, III
10200 Brookmoor Drive
Silver Spring MD 20901

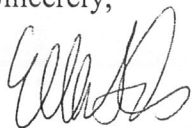
Dear Mr. & Mrs. Bray:

Please note that your request for a variance to construct a second floor over an existing first floor forward of the front (Summerfield Road) and side (east) building restriction lines at your property is scheduled before the Board of Managers on Monday, July 8, 2013 at 7:30 p.m.

Either you or another representative must be in attendance to present your case. At that time, additional documents may be introduced and testimony can be provided in support of the request.

For your convenience, enclosed please find copies of the Public Hearing Notice and mailing list. Please contact the Village office in advance if you are unable to attend.

Sincerely,



Ellen Sands
Permitting and Code Enforcement
Chevy Chase Village

Enclosures

CHEVY CHASE VILLAGE
5906 Connecticut Avenue
Chevy Chase, Maryland 20815
Phone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov
www.chevychasevillagemd.gov

BOARD OF MANAGERS

PATRICIA S. BAPTISTE
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Treasurer

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Board Member

VILLAGE MANAGER
SHANA R. DAVIS-COOK

LEGAL COUNSEL
SUELLEN M. FERGUSON

Chevy Chase Village Building Permit Application

Permit No: A-6378

Property Address: 104 OXFORD STREET

Resident Name: BILL & SIDNEY BRAY

Daytime telephone:

Cell phone:

After-hours telephone:

E-mail: bbray@1stmarinerbank.com; sydney.wd@gmail.com

Project Description:

Residential interior renovation, with limited second story addition above existing single story structure.

☐ Check here if the construction will require the demolition of over fifty (50) percent of any existing structure.

Primary Contact for Project:

☐ Resident

☒ Architect

☐ Project Manager

☐ Contractor*

*MHIC/MD Contractor's License No. (required):

Information for Primary Contact for Project (if different from property owner):

Name: Robert Michael Cross

Work telephone: 202 536 3006

After-hours telephone:

Cell phone: 804 263 4886

E-mail: mcross@rmichaelcross.com

Will the residence be occupied during the construction project?

☐ Yes

☒ No

If no, provide contact information for the party responsible for the construction site (if different from above):

Name: John Allen

Address: 6 Thorne Road Cabin John, MD 20818

Work telephone: 301 229 7628

After-hours telephone:

Cell phone:

E-mail: john@allenbuiltinc.com

Parking Compliance:

Is adequate on-site parking available for the construction crews?

☒ Yes

☐ No

If no, please attach a parking plan which minimizes inconvenience to neighboring residents, and indicate if the property is in a permit parking area.

Will road closings be required due to deliveries, equipment or other reasons?

☐ Yes

☒ No

Building Permit Filing Requirements:
Application will not be reviewed until the application is complete

- ☐ Copy of stamped drawings approved by Montgomery County Department of Permitting Services (DPS) and the Historic Preservation Commission (HPC), if required. Every page of drawings must be clearly stamped.
- ☐ This application form, signed by resident.
- ☐ Boundary Survey
- ☐ Site Plan (see: Village Site Plan Checklist to ensure completeness)
- ☐ Building plans and specifications
- ☐ Tree Preservation Plan requested of Village arborist (see: Village Tree Inspection Request form). All required tree protections must be fully installed before any work begins.
- ☐ Filing Fee (due at time of application). Fees schedule is listed in Chapter 6 of the Village Code.
- ☐ Damage deposit or performance bond (due when Building Permit is issued). Amount of required deposit or bond will be set by Village Manager.

Once this permit application is complete, the Village Manager will review the application and accompanying documents and, under most circumstances, act on the application within 5 to 10 working days.

If the Montgomery County permit is suspended, revoked or lapsed, the Village permit is automatically suspended, revoked or lapsed.

No signs advertising the architect, contractor, or any other service provider may be posted on the work site.

I hereby certify that I have the authority to make the foregoing application, that the application is correct, that I have read and understood all requirements and that the construction will conform to the regulations of the Montgomery County Zoning Code, the Village Code including Urban Forest code, and any covenants and easements on the subject property.

Applicant's Signature: *Sydney W. Byrd* **Date:** *6/13/13*

To be completed by Village staff:

Is this property within the historic district? Yes ☐ No ☒ Staff Initials: *ES*
Date application filed with Village: *6/14/13* Date permit issued: Expiration date:

For Use By Village Manager	Application approved with the following conditions:
For Use By Village Manager <div style="border: 2px solid black; padding: 5px; display: inline-block; text-align: center;"> DENIED JUN 24 2013 Chevy Chase Village Manager </div>	Application denied for the following reasons:

Filing Fees (due when application submitted)	Checks Payable to:
Permit Application Fee: \$ <u>30.00</u> (see Permit Fee Worksheet) <input type="checkbox"/> \$50.00 (if construction is in the Public Right-of-way)	Chevy Chase Village 5906 Connecticut Ave. Chevy Chase, MD 20815
Tree Preservation Plan Fee: <input type="checkbox"/> \$250.00 <input type="checkbox"/> Not required for this project. <u>TBD</u>	
TOTAL Fees: <u>30.00</u>	Date: <u>6/24/13</u> Staff Signature:

Damage Deposit/Performance Bond (due when permit is issued)	Checks Payable to:
<input type="checkbox"/> \$ _____ <input type="checkbox"/> Waived by Village Manager	Chevy Chase Village 5906 Connecticut Ave. Chevy Chase, MD 20815
	Date: _____ Village Manager Signature:
Cost of damage to R-O-W: (calculated at close-out) Amount of refund:	Date: _____ Village Manager Signature:

Chevy Chase Village Application for a Variance

A variance is permission granted to a landowner to depart from the specific requirements of the Village zoning ordinance and allows a landowner to use land differently than specified in the ordinance. The variance is a written authorization from the Board of Managers permitting construction in a manner not otherwise allowed by the Village Code.

Subject Property: 104 Oxford Street	
Describe the Proposed Project: Residential interior renovation, with limited second story addition above existing single story structure.	
Applicant Name(s) (List all property owners): Bill & Sidney Bray	
Daytime telephone:	Cell:
E-mail: bbray@1stmarinerbank.com; sydney.wd@gmail.com	
Address (if different from property address):	
<i>For Village staff use:</i>	
Date this form received: 6/18/12 (revised app.)	Variance No: A-6378

Filing Requirements:

Application will not be accepted or reviewed until the application is complete

- ☐ Completed Chevy Chase Village Application for a Variance (this form)
- ☐ Completed Chevy Chase Village Building Permit Application
- ☐ A boundary survey or plat diagram with a margin of error of one tenth of a foot or less showing all existing structures, projections and impervious surfaces.
- ☐ Surveys, plats, engineering reports, construction plans/specifications or other accurate drawings showing boundaries, dimensions, and area of the property, as well as the location and dimensions of all structures/fences/walls/etc., existing and proposed to be erected, and the distances of such structures/fences/walls/etc., from the nearest property lines. These drawings shall incorporate and display reference dimensions from the boundary survey or plat diagram required above.
- ☐ Copy of Covenants applicable to the property except for variances from Sections 8-22, 8-26 or Article IV of Chapter 8 of the Chevy Chase Village Code.
- ☐ Variance fee (See fee schedule listed in Chapter 6 of the Village Code).

Affidavit

I hereby certify that I have the authority to submit the foregoing application, that all owners of the property have signed below, that I have read and understand all requirements and that I or an authorized representative will appear at the scheduled public hearing in this matter. I hereby authorize the Village Manager, or the Manager's designee, and/or the Board of Managers to enter onto the subject property for the purposes of assessing the site in relation to this variance request. I hereby declare and affirm, under penalty of perjury, that all matters and facts set forth in the foregoing application are true and correct to the best of my knowledge, information and belief.

Applicant's Signature: [Signature]
Applicant's Signature: [Signature]

Date: 6/13/12
Date: 6/20/12

Page 1 of 2

Describe the basis for the variance request (attach additional pages as needed).

Describe the special conditions of the property (e.g., odd shape, small size, sloping topography, abuts state highway, etc.) and how the property compares to other properties in the Village:

ODDLY SHAPED, CORNER LOT, WITH EXISTING 1923 STRUCTURE BUILT NOT IN COMPLIANCE WITH FRONT AND SIDE YARD SETBACKS. ANY EXISTING ENCROACHMENT AT THE SIDE YARD IS NOT TO BE INCREASED BUT ONLY EXTENDED TO THE SECOND STORY. THE AREA OF THE ENCROACHMENT INTO THE FRONT BUILDING RESTRICTION LINE WILL BE EXTENDED TO THE SECOND FLOOR WITH THE ADDITION OF A DORMER AND NEW ROOF WHICH MAY INCREASE THE ENCROACHMENT BY UP TO 4' DUE TO THE ADDITION OF AN EAVE AND GUTTER IN KEEPING WITH THAT FOUND ELSEWHERE ON THE EXISTING STRUCTURE.

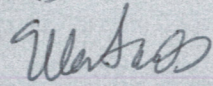
Describe how enforcement of the building regulations would result in an unwarranted hardship and injustice because of the special condition(s) described above (i.e., describe (i) the unwarranted hardship and injustice that you claim exists and (ii) how the special conditions cause that unwarranted hardship and injustice):

BY ENFORCING THE REGULATIONS THE RESULTING CONSTRUCTION WOULD BE UNECESSARILY STRUCTURALLY COMPLICATED AND IT WOULD PRODUCE A STRUCTURE THAT WOULD NOT WEATHER WELL, WOULD BE LESS AETHETICALLY PLEASING, AND WOULD NOT BE IN KEEPING WITH THE CHARACTER OF THE PROPERTY.

Describe how the proposed variance most nearly accomplishes the intent and purpose of the requirements of Chapter 8 of the Chevy Chase Village Code, entitled *Buildings and Building Regulations*:

THE ENCROACHMENTS REQUESTED WOULD NOT ADVERSLY CHANGE THE CHARACTER OF THE PROPERTY, CREATE UNSAFE CONDITIONS, BLOCK VISTAS, RESTRICT AIR CIRCULATION, ADVERSELY AFFECT NEIGHBORS USE & ENJOYMENT, OR DECREASE GREEN SPACE MORE THAN ANY MATTER-OF-RIGHT STRUCTURE.

In exercising its powers in connection with a variance request, the Chevy Chase Village Board of Managers may reverse or affirm, wholly or partly, or may modify the requirement, decision or determination as it deems appropriate.

Variance Filing Fee	Checks Payable To: Chevy Chase Village 5906 Connecticut Ave. Chevy Chase, MD 20815
<p><i>Per Village Code Sec. 6-2(a)(24):</i></p> <p><input checked="" type="checkbox"/> \$300.00 for new construction.</p> <p><input type="checkbox"/> \$150.00 for replacing existing non-conformities.</p> <p><input type="checkbox"/> \$300.00 for fences, walls, play equipment, trees, hedges, shrubbery in the public right-of-way.</p> <p><input type="checkbox"/> Other: \$ _____</p> <p>Fee Paid: \$300.00</p>	<p>Date Paid: 6/27/13</p> <p>Staff Signature: </p>
	<p>Approved to Issue Building Permit per Board Decision Signed by the Board Secretary on:</p> <p>Date: _____</p> <p>Signature: _____ Village Manager</p>

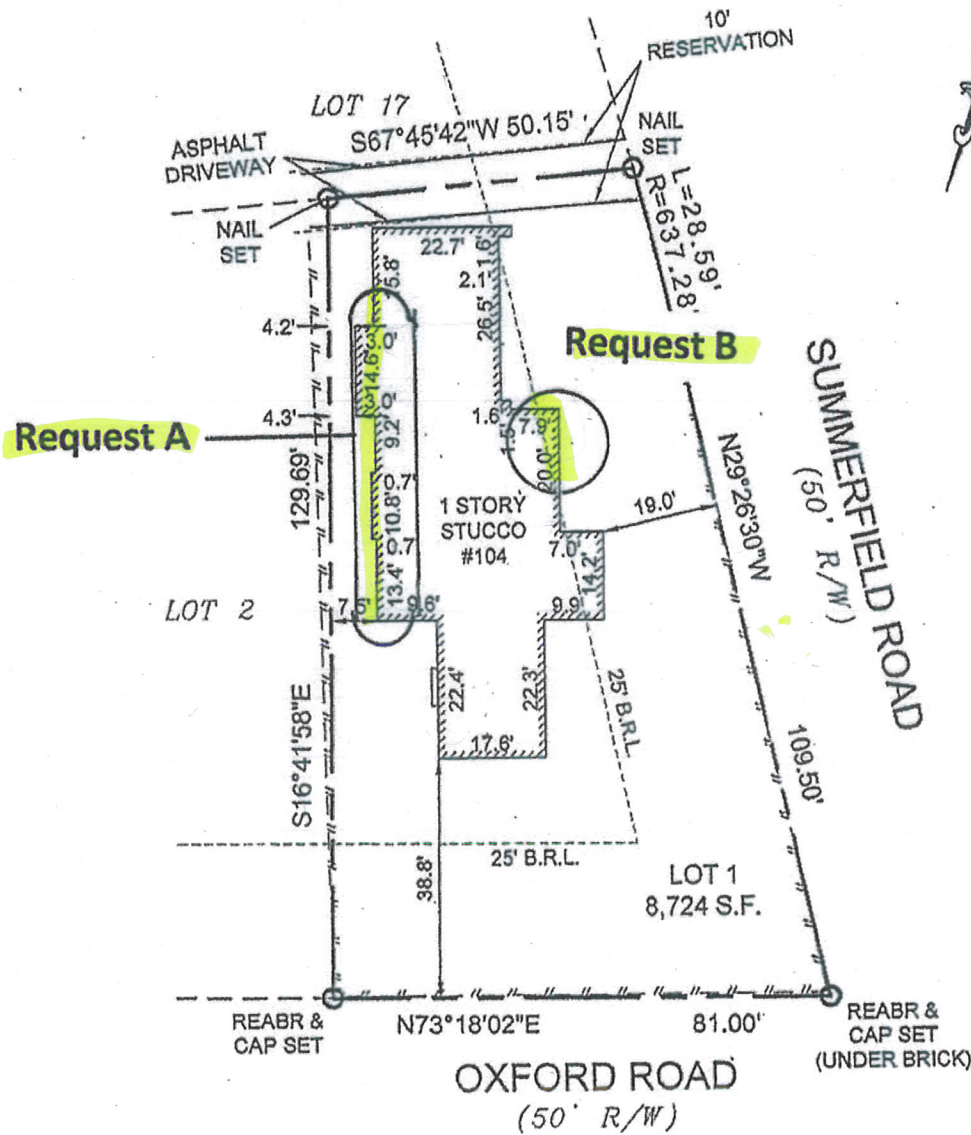
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MARYLAND

WASHINGTON, D.C.

VIRGINIA

ADDRESS: 104 OXFORD ROAD
CHEVY CHASE, MD 20815



NOTES:

1. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.
2. SUBJECT TO ALL EASMENTS ON RECORD.

[Signature]
6/28/13
DRAWN BY: DS
FILE: #104 OXFORD STREET

I HEREBY CERTIFY THAT IMPROVEMENTS ARE LOCATED AS SHOWN HEREON AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS AND NO EASMENTS SHOWN.



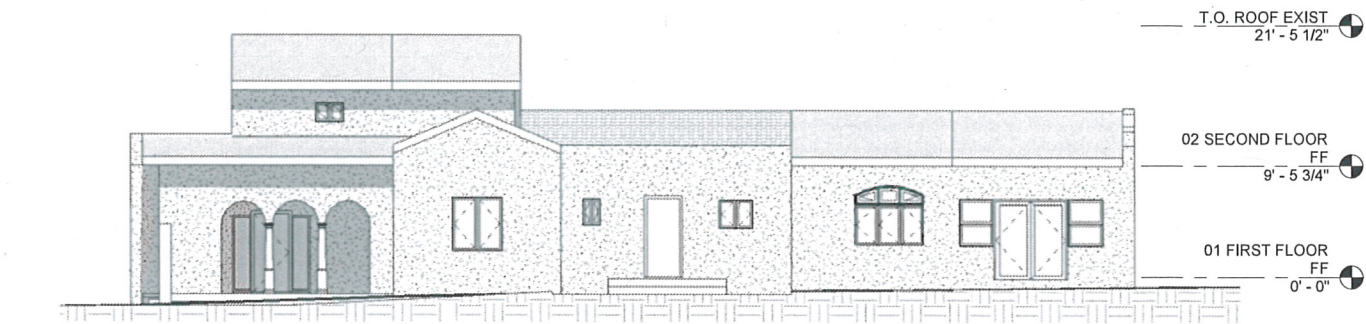
FITZROY J. BERTRAND
SURVEYOR

[Signature]
6/17/2013
DATE

BOUNDARY SURVEY & WALL CHECK
LOT 1 BLOCK C
CHEVY CHASE: SECTION 7
PLAT: #259
MONTGOMERY COUNTY, MARYLAND
SCALE: 1" = 30' DATE: 6/17/13

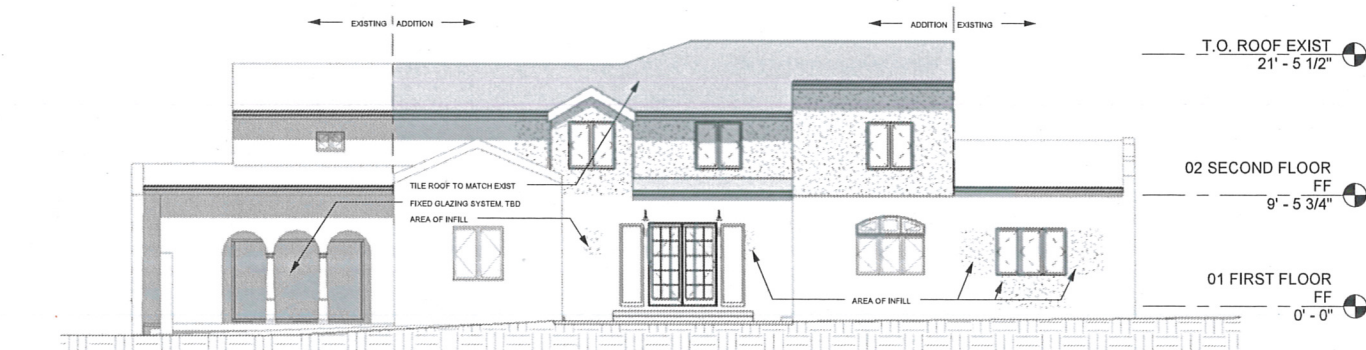
REAL ESTATE SURVEYORS & DEVELOPERS, LLC

Residential, Commercial, Industrial and Land
WWW.RESDLLC.COM
LAUREL LAKES EXECUTIVE PARK
8325 CHERRY LANE
LAUREL, MARYLAND 20707
TEL: (301)804-3105 FAX: (301)804-3108



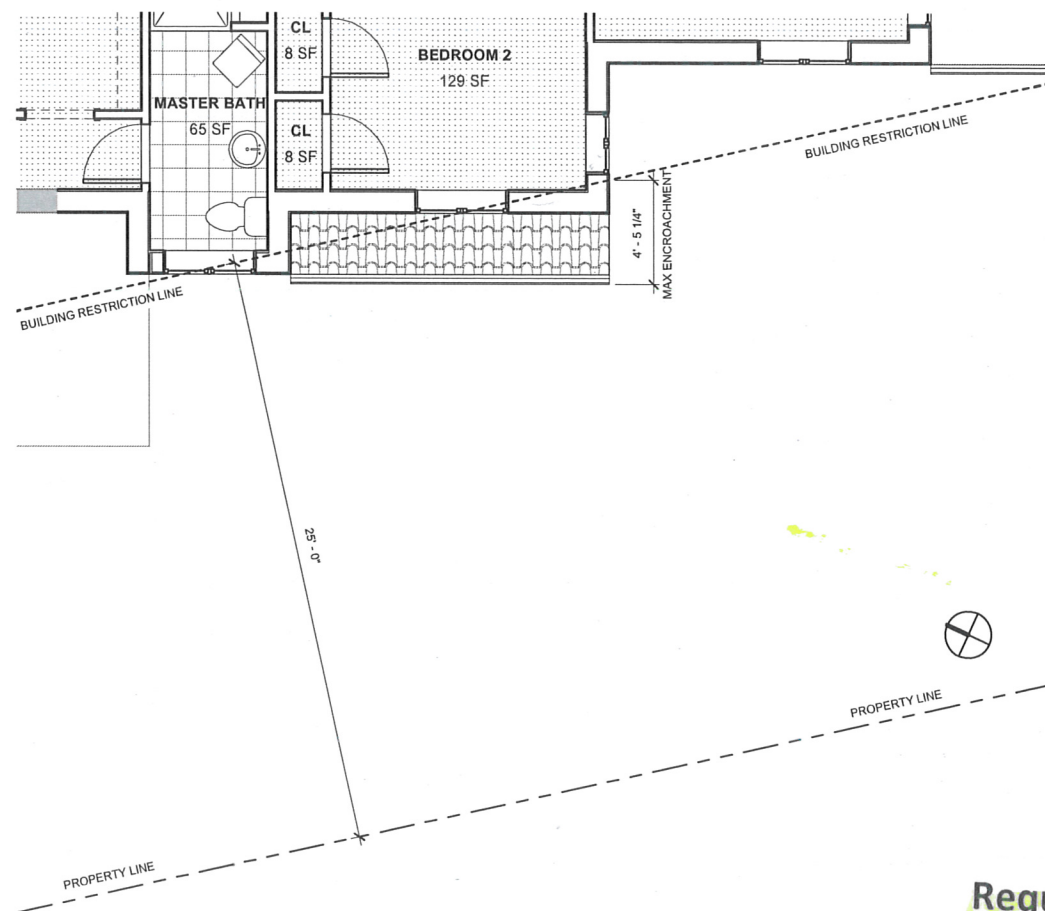
2 WEST ELEVATION - EXISTING

SK01 1/8" = 1'-0"



3 WEST ELEVATION - PROPOSED

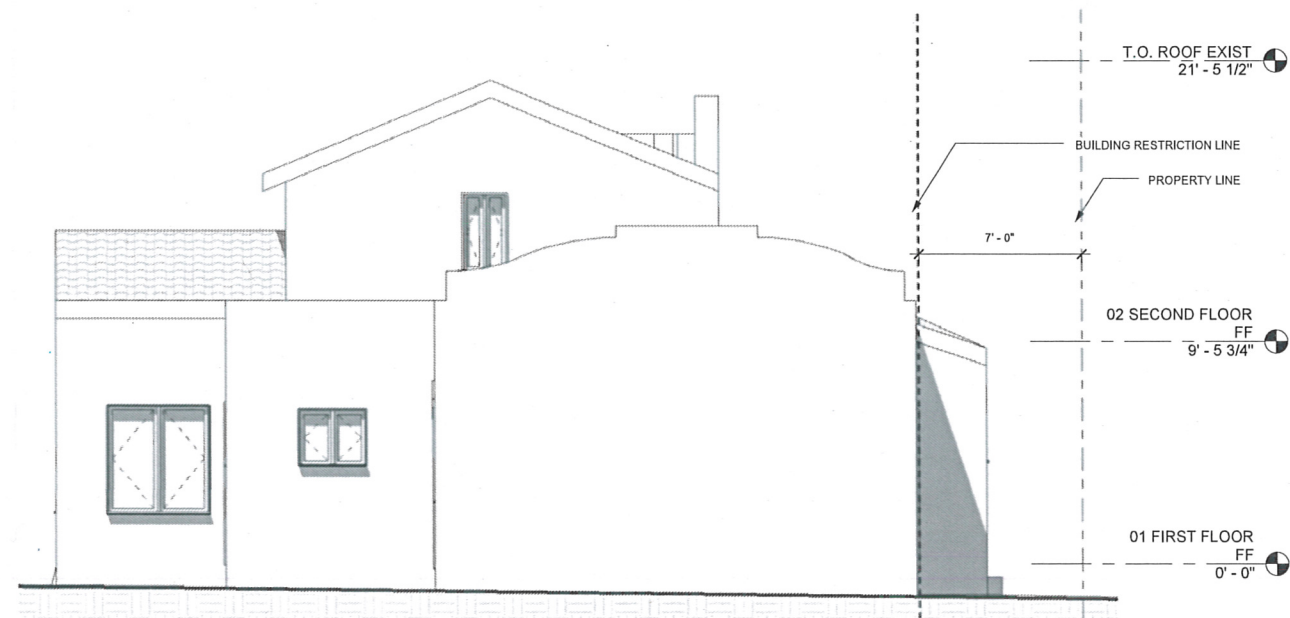
A101 SK01 1/8" = 1'-0"



1 2nd FLOOR - SETBACK

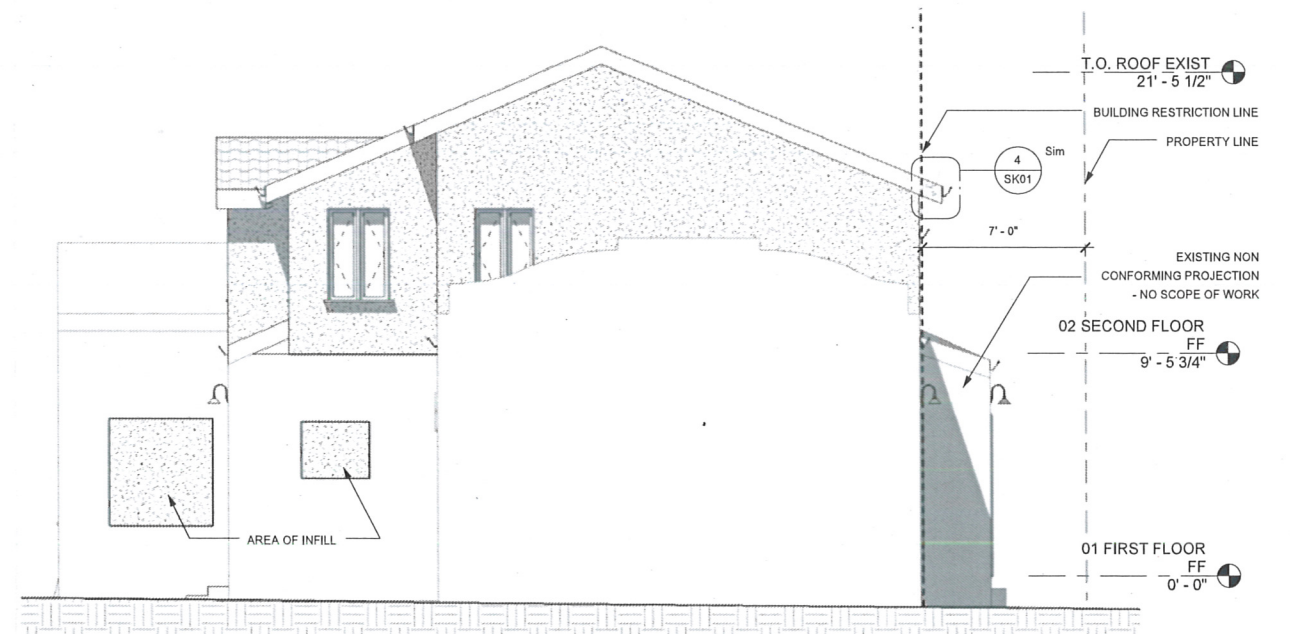
A201 SK01 1/4" = 1'-0"

Request B



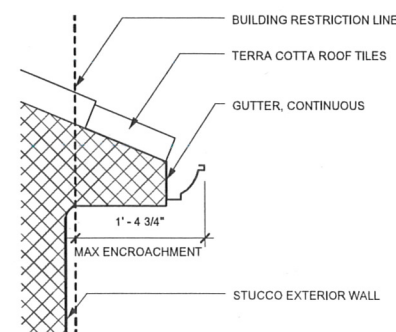
5 SOUTH ELEVATION - EXISTING

SK01 1/4" = 1'-0"



6 SOUTH ELEVATION - PROPOSED

A101 SK01 1/4" = 1'-0"



4 MAX EAST ENCROACHMENT DIAGRAM

A102 SK01 1" = 1'-0"

Request A

Bill & Sydney Bray
104 OXFORD STREET
R. MICHAEL CROSS
DESIGN GROUP

NOT FOR CONSTRUCTION

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW : JJB
CHECK : RMC

26 JUN 2013

VARIANCE
PROPOSAL

SK01

FULL-SIZE HALF-SIZE
As indicated

6/26/2013 1:56:28 PM

Shelley and Paul Batlan-Poticha
106 Oxford Street
Chevy Chase, MD 20815

July 5, 2013

Board of Managers
Chevy Chase Village
Through: Code Compliance and Enforcement
5906 Connecticut Avenue
Chevy Chase, MD 20815

Re: Variance Request – A-6378: 104 Oxford Street

Dear Board of Managers:

Thank you for the opportunity to comment regarding the requested variance for the proposed additions to the residence at 104 Oxford Street, Chevy Chase, MD 20815 (Subject Property). We are writing in our capacity as homeowners in the adjoining property located at 106 Oxford Street that will most directly be impacted by the proposed alterations.

We respectfully request the Village of Chevy Chase decline the variances for the Subject Property. We also welcome our new neighbors' designer to meet with us at their earliest convenience to discuss alternatives to mitigate the significant negative impacts to our home that will result from the proposed changes.

We are making this request having only been informed about the proposed alterations through communications from the Village that were received by mail on Monday, July 1, 2013. Our family was never contacted by our new neighbors or their architect regarding the proposed alterations since purchasing the Subject Property earlier this year. We received an unaddressed letter dropped on our porch last weekend that requested our approval for the variances for a design that was not included nor were we even aware of.

We were very disappointed that the Brays never informed nor consulted our family about their intention to construct a two story addition adjacent to and negatively impacting the privacy, natural lighting, and views from our most used personal spaces, including our master bedroom and living room. Upon notice from the Village, we immediately contacted the architect of record to request a plan set which was not forthcoming. We appreciate Ellen Sand's efforts at the Village's Code Compliance Office to meet with us and discuss the planning review process, and for providing us with a plan set for the proposed alterations.

We have only had a few days to review the plans and make comment. Needless to say, we are very concerned that this design that so directly affects our home proceeded through construction documents with no opportunity for constructive feedback. Our primary concerns relate to the massing and proximity of the second story addition. The new second story will loom over and shadow our living room, obstruct pleasant window views from our master bedroom, and will place invasive direct views from the neighbor's new windows into our only master bedroom and living room windows.

Our two properties are very close together. The Subject Property is on a very narrow corner lot with no backyard. The Subject Property is a long linear structure with opportunities for adding a second story in a manner that would avoid the direct views into and shading of our most private of living spaces. Due to the large chimney on the front of our house, the critical living areas at 106 Oxford Street were designed with all west facing windows. The master bedroom and living room have only small courtesy windows facing onto Oxford Street that provide little light or view.

The requested variance along the east side of the Subject Property for the proposed roof overhang will exacerbate the dark shadows and obstructed views caused by the second story addition into these now pleasant rooms. Our living room is the center of our home with soft light year round. That wonderful living space will be darkened year round by the alterations. Most importantly, the windows in the neighbor's proposed master bedroom, grand staircase and bathroom less than 17 feet away from our home will view directly into our master bedroom and living room at all times. Reviewing the design of the proposed addition makes us appreciate the care that the original architects of 104 and 106 Oxford took to ensure privacy and compatible living between these two closely located residences.

The 104 Oxford Street property is a great house and design modification could result in the continued and harmonious co-location of our two houses. These include repositioning and massing the second story addition further toward the back of the house or setback more towards the Summerfield Road side of the property. Additionally the location and treatment of east facing windows should be considered carefully to protect both families' privacy interests in these two very tightly sited homes. With some reasonable modifications, we are confident that our neighbors will achieve the additional living space they seek and a wonderful home.

We welcome our new neighbors the Brays and are distressed that this is our first opportunity to engage. We would appreciate the Village Board grant our request to deny the variances for the Subject Property and support our recommendation for the neighbors to meet quickly to discuss design alternatives to mitigate for privacy, light shading, and view impacts to our home.

Thank you again for your consideration.

Paul Batlan, esquire/M'Arch

Shelley Poticha, AICP

Supporting Photos



Front of 106 Oxford, showing limited windows and closeness of 104 Oxford eastside



Side Yard between 104 and 106 Oxford Street



View from upstairs master bedroom



View from living room

Liber 384 185
104 Oxford

Nellie J. Sawyer
Notary Public
Montgomery
Co., Md.

Notary Public

EXAMINED.

Delivered to

R. J. Spatis

7-17-25

AT the request of Edward R. Carr the following deed was recorded May 27th
A.D. 1925 at 2:53 o'clock P.M. to wit:-

This deed made this 27th day of May in the year of our Lord one thousand nine
hundred and twenty five by and between Theodore Sonnemann and Eliza Jane Sonnemann his wife,
of Montgomery County, Maryland parties of the first part, and Edward R. Carr of the District of
Columbia, party of the second part:

Witnesseth that in consideration of ten (10) dollars, lawful money of the
United States, to them in hand paid before the sealing and delivery of these presents the said
parties of the first part do grant and convey unto Edward R. Carr., party of the second part
his heirs and assigns in fee simple, all those pieces or parcels of ground situate lying and
being in Montgomery County, State of Maryland and being described as follows, to wit:-

Lot numbered eight (8) nine (9) ten (10) eleven (11) and twelve (12) in
block lettered "A" lots numbered seven (7) eight (8) nine (9) ten (10) eleven (11) twelve
(12) thirteen (13) fourteen (14) and fifteen (15) in block lettered "E" in a subdivision known
as "Section 6 Chevy Chase"; as per plat recorded in plat book No. 3 plat 258 one of the land
records for Montgomery County.

Lots numbered one to seven (1 to 7) both inclusive and lots numbered seventeen
(17) to twenty three (23) both inclusive in block lettered "B" lots numbered one (1) to
seventeen (17) both inclusive in block lettered "C" and lots numbered one to five (1 to 5) both
inclusive in block lettered "D": in a subdivision known as section 7 Chevy Chase; as per plat
recorded in plat book No. 3, plat 259 one, of the land records for said Montgomery County.

Together with a small strip of land lying between Broad Branch Road and the
said lots five (5) six (6) and seven (7) in said block "B" which is designated to be taken
for the widening of said Broad Branch Road, but which strip of land is given to the owner of
said lots five (5) six (6) and seven (7) in said block "B" provided said road is not widened.

Subject to building restrictions and covenants as follows:

1. That all houses upon the premises hereby conveyed shall be built and used
for residence purposes exclusively except stables carriage houses sheds or other outbuildings
for use in connection with such residences and that no trade business manufacture or sales or
nuisance of any kind shall be carried on or permitted upon said premises.

2. That no structure of any description shall be erected within twenty five
(25) feet of the front line of said premises, and that no stable carriage-house, shed or
outbuilding shall be erected except on the rear of said premises.

3. That no house shall be erected on said premises at a cost of less than four
thousand dollars.

4. That any house erected on said premises shall be designed for the occupancy

of a

of a single family, and no part of any house or structure appurtenant thereto shall be erected or maintained within five (5) feet of the side lines of premises hereby conveyed nor within ten (10) feet of the nearest adjacent house.

5. That a violation of any of the aforesaid covenants and agreements may be enjoined by the parties of the first part, their successors heirs or assigns.

Together with the building and improvements thereupon, erected made, or being; and all and every, the rights, alleys, ways, waters, privileges, appurtenances, and advantages to the same belonging or in anywise appertaining.

To have and to hold the said pieces or parcels of ground and premises above described or mentioned and hereby intended to be conveyed, together with the rights, privileges, appurtenances and advantages thereto belonging or appertaining unto and to the only proper use, benefit and behoof forever of the said Edward H. Carr his heirs and assigns in fee simple.

And the said parties of the first part covenant that they will warrant specially the property hereby conveyed; that they are seized of the land hereby conveyed; that they have a right to convey said land; that the said party of the second part shall quietly enjoy said land; that they have done no act to encumber said land; and that they will execute such further assurances of said land as may be requisite.

Witness their hands and seals.

Test:

M.J. Sonnemann

394 Theodore Sonnemann (Seal)

394 Elisa Jane Sonnemann (Seal)

(Internal Revenue \$100.00)

State of Maryland, County of Montgomery, ss:-

I hereby certify that on this 27th day of May 1925, before the subscriber a Notary Public in and for Montgomery County, Maryland personally appeared Theodore Sonnemann and Elisa Jane Sonnemann, his wife, and did each acknowledge the foregoing deed to be their act.

In testimony whereof, I have affixed my official seal this 27th day of May A.D. 1925.

Madeline J. Sonnemann
Notary Public
Montgomery
Co., Md.

Madeline J. Sonnemann
Notary Public
Montgomery County, Maryland.

EXAMINED

Delivered to:
J.A. Woodward
6-26-25

AT the request of John A. Moore the following deed was recorded May 27th A.D. 1925 at 3:32 o'clock P.M. to wit:-

This deed made this twentieth day of May in the year nineteen hundred and twenty five by Rosa M. Graeves and Lewis B.F. Graeves her husband, of the county of Montgomery

Chevy Chase Village

Website Posting Notice**for Appeal, Special Permit & Variance Hearings**


Case Number:

Hearing Date:

By signing below, I acknowledge as the applicant/appellant in the above-referenced case number that all supporting information and documentation for my case will be posted on the Village's website at <www.chevychasevillagemd.gov> for review by the general public.

Applicant/Appellant Name: WILLIAM BRAYAddress: 10200 BROOKHORN DR SILVER SPRING MD 20901Telephone: 240-235-5328E-mail: bray404992@gmail.comApplicant/Appellant Signature: Agent Name for applicant/appellant (if necessary): R. MICHAEL CROSS DESIGN GROUPTelephone: 202.536.3006Address: 21 DUPONT CIR NW STE#710 WASHINGTON DC 20036E-mail: MCROSS@RMICHAELCROSS.COM

E-mail:

Signature of agent: Village staff initials: MSDate: 6/20/13

AFF ABOVE FINISHED FLOOR
AD ACCESS DOOR
AC ACOUSTICAL
ACP ACOUSTICAL CEILING PANEL
AWC ACOUSTICAL WALL COVERING
ADJ ADJUSTABLE
AVC AIR CONDITIONING
ALT ALTERNATE
AL ALUMINUM
AB ANCHOR BOLT
APPROX APPROXIMATE
ARCH ARCHITECTURAL
AP ARMOR PLATE
@ AT
BSMT BASEMENT
BRG BEARING
BM BENCH MARK, BEAM
BLK BLOCK
BLKG BLOCKING
BOT BOTTOM
BRK BRICK
BC BRICK COURSES(ING)
BLDG BUILDING
BUR BUILT UP ROOFING
CPT CARPET
CIP CAST IN PLACE
CI CAST IRON
CB CATCH BASIN
CLG CEILING
CTR CENTER
cm CENTERLINE
CT CENTIMETER
CT CERAMIC TILE
CHAN CHANNEL
CV CHECK VALVE
CO CLEAN OUT
CLR CLEAR
CLR WG CLEAR WIRE GLASS
CLO CLOSET
COL COLUMN
COMP COMPOSITION
CONC CONCRETE
CMU CONCRETE MASONRY UNIT
CONT CONTINUOUS
CJ CONTROL JOINT
CG CORNER GUARD
CORR CORRIDOR
CF CUBIC FOOT (FEET)
CFM CUBIC FOOT PER MINUTE
CY CUBIC YARD
CYL CYLINDER
DP DAMPPROOFING
DEG DEGREE
DEMO DEMOLITION
D DEPTH
DET DETAIL
DIAG DIAGONAL
DIA DIAMETER
DIFF DIFFUSER
DIM DIMENSION
DISP DISPENSER
DIV DIVISION
DBL DOUBLE
DN DOWN
DOW DOWNSPOUT
DR DOOR, DRAIN
DWG DRAWING
DF DRINKING FOUNTAIN
EA EACH
EWC ELECTRIC WATER COOLER
ELEC ELECTRICAL
ELEV ELEVATOR, ELEVATION
EMER EMERGENCY
ENGR ENGINEER(ING)
EQ EQUAL
EQUIP EQUIPMENT
EPDM ETHYLENE PROPYLENE DIENE MONOMER (ROOF MEMBRANE)
EXIST EXISTING
EXPA EXPANSION ANCHOR
EB EXPANSION BOLT
EJ EXPANSION JOINT
EXT EXTERIOR
EIFS EXTERIOR INSULATION AND FINISH SYSTEM
FWC FABRIC WALL COVERING
FOF FACE OF FINISH
FOS FACE OF STUD
F FAHRENHEIT
FV FIELD VERIFIED
FF FINISH FLOOR
FIN FINISHED
FO FINISHED OPENING
FA FIRE ALARM
FE FIRE EXTINGUISHER
FEC FIRE EXTINGUISHER CABINET
FHC FIRE HOSE CABINET
FRTW FIRE RETARDANT TREATED WOOD
FLASH FLASHING
FLR FLOOR
FD FLOOR DRAIN
FLUOR FLUORESCENT
FT FOOT, FEET
FTG FOOTING
FDN FOUNDATION
FURN FURNITURE
FUR FURRED

GA GAGE
GALV GALVANIZED
GEN GENERAL
GC GENERAL CONTRACTOR
GL GLASS OR GLAZING
GNV GOOSE NECK VENTILATOR
GB GRAB BAR
GND GROUND
GR GROUT
GYP GYPSUM BOARD
GYP BD
HRL HANDRAIL
HDW HARDWARE
HAD HARDWOOD
HVAC HEATING, VENTILATING, AIR CONDITIONING
HD HEAVY DUTY
HGT HEIGHT
HGH HIGH
HC HOLLOW CORE
HM HOLLOW METAL
HORIZ HORIZONTAL
HB HOSE BIBB
HR HOUR
IN INCH
ID INSIDE DIAMETER
INSUL INSULATION
INT INTERIOR
JAN JANITOR
JT JOINT
JT B JOINT BACKER
JST JOIST
JCT JUNCTION
KP KICK PLATE
KIT KITCHEN
KO KNOCKOUT
LAM LAMINATE, LAMINATED
LAM GL LAMINATED GLASS
LAV LAVATORY
LH LEFT HAND
L LENGTH
LB POUND
LBF POUNDS-FORCE
LIN LINEAR
LLV LONG LEG VERTICAL
LVR LOUVER
MFR MANUFACTURER
MAS MASONRY
MO MASONRY OPENING
MATL MATERIAL
MAX MAXIMUM
MECH MECHANICAL
MEMB MEMBRANE
MET METAL
MT METAL THRESHOLD
MEZZ MEZZANINE
mm MILLIMETER
MWK MILLWORK
MIN MINIMUM
MIR MIRROR
MISC MISCELLANEOUS
MLD MOLDING
MULL MULLION
NOM NOMINAL
N NORTH
NIC NOT IN CONTRACT
NTS NOT TO SCALE
NO NUMBER
OFF OFFICE
OC ON CENTER
OPNG OPENING
OPP OPPOSITE
OPP H OPPOSITE HAND
OD OUTSIDE DIAMETER
OVFL OVERFLOW
OH OVERHEAD
OFCL OWNER FURNISHED, CONTRACTOR INSTALLED
PNT PAINT
PR PAIR
PAR PARALLEL
PART PARTIAL
PARTN PARTITION
PERIM PERIMETER
PERP PERPENDICULAR
PP PITCH POCKET
PLAS PLASTER, PLASTIC
PLAM PLASTER LAMINATE
PLATE PLATE
PLBG PLUMBING
PLYWOOD PLYWOOD
PRV POWERED ROOF VENTILATOR
#LBS POUNDS
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
PTD PAINTED
PTD PAINTED
QUAL QUALITY
QTY QUANTITY
QT QUARRY TILE

ANNOTATION LEGEND
SECTION TAG
LEVEL TAG
ELEVATION TAG
ROOM TAG
SPOT ELEVATION
WINDOW TAG
DOOR TAG
CASEWORK TAG
CALLOUT TAG
GENERIC NOTE
NORTH ARROW
VIEW TITLE
REFERRING SHEET
Name
Elevation
Room name
155 SF
1'-0"
1 A101
1.01
View Name
A101 A401 1/4" = 1'-0" 1/8" = 1'-0"

WALL LEGEND
EXISTING
DEMOLISHED
CLAY MASONRY
CONCRETE MASONRY
CONCRETE
STUD

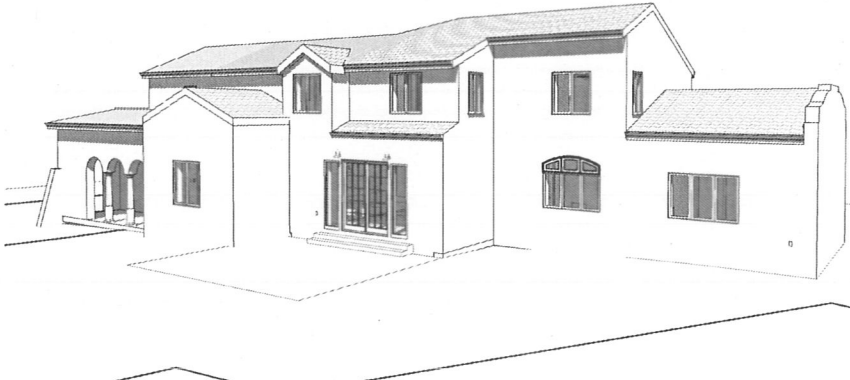


ADDITION / ALTERATION

104 OXFORD STREET CHEVY CHASE, MD 20815

ZONING INFO
Address: 104 Oxford Street Chevy Chase, MD 20815
ID #: 00469755
of Stories: 2
Living Area: 2,482 SF
Lot Area: 8,724 SF
Year Built: 1923
Land Use Description: Residential
Zoning: R-60
Historic District: Chevy Chase

BUILDING CODE INFO
Applicable Codes
Building: IBC 2012 w/ Local Amendments
Structural: IBC 2012 w/ Local Amendments
Mechanical: IMC 2012 w/ Local Amendments
Electrical: NEC 2008 w/ Local Amendments
Plumbing: WSSC 2011 w/ Local Amendments
Fire: NFPA 72 2007 w/ Local Amendments
Life Safety: NFPA 101 2012 w/ Local Amendments
Accessibility: COMAR 05.02.02 ADAPG & FTHAG
Energy: IECC 2012 w/ Local Amendments
Use Group: Existing Bldg: Single Family
Tenant: Single Family
Sprinklered: No



DRAWING LIST	
Sheet Number	Sheet Name
A202	ELEVATIONS
CS	COVER SHEET
D101	DEMOLITION PLANS
D102	DEMOLITION PLANS
A101	FLOOR PLANS
A102	FLOOR PLANS
A201	ELEVATIONS
A300	SECTIONS
A400	INTERIOR ELEVATIONS
A500	DETAILS

DRAWING LIST	
Sheet Number	Sheet Name
A600	DOORS & WINDOWS
S100	STRUCTURAL NOTES
S101	FRAMING & CALCULATIONS
S102	FRAMING & CALCULATIONS
M101	MECHANICAL
M102	MECHANICAL
E101	ELECTRICAL
E102	ELECTRICAL
P101	PLUMBING
P102	PLUMBING
P103	PLUMBING RISERS



REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW: JJB
CHECK: RMC
30 MAY 2013
COVER SHEET
CS
FULL-SIZE HALF-SIZE
As indicated

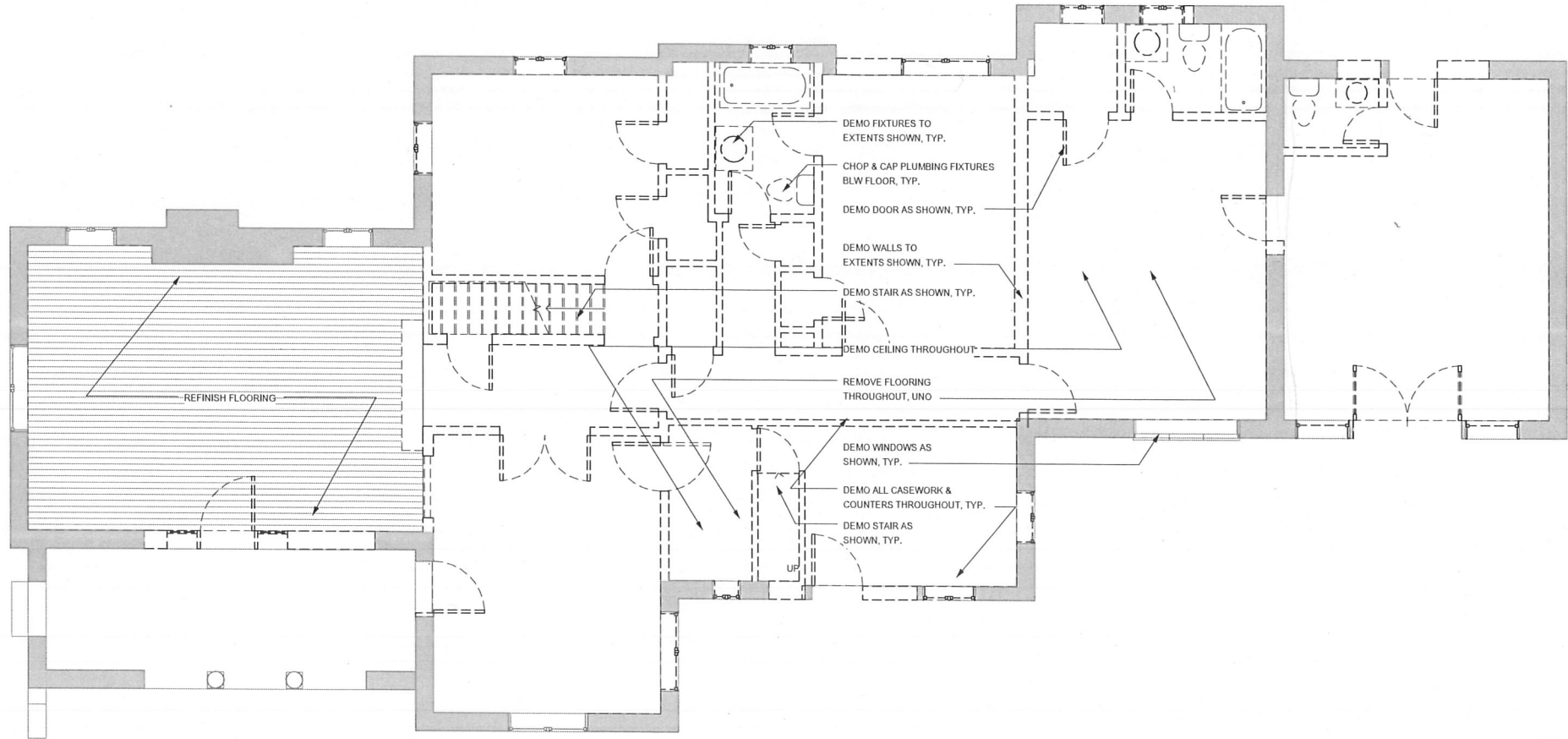
R Michael Cross Design Group | ARCHITECT
21 Dupont Circle NW, Suite 710
Washington, DC 20036-1544
31804 332 6402 fax
202 536 3006

Allen Built, Inc | CONTRACTOR
6 Thorne Road
Cabin John, MD
301 229 0071 fax
301 229 7628

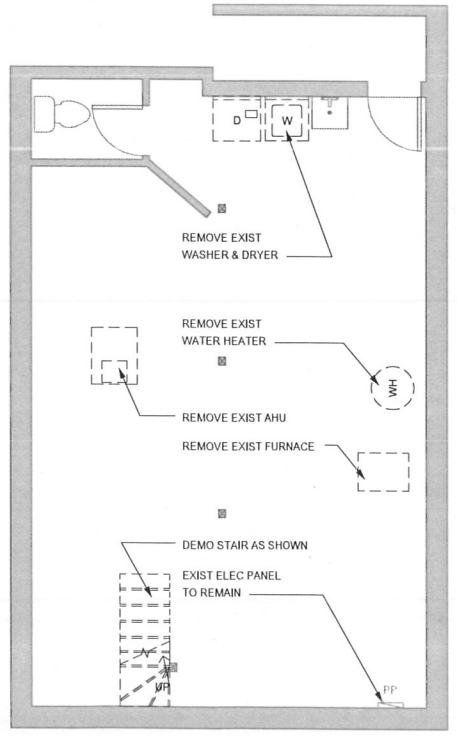
Bill & Sydney Bray | OWNER
104 Oxford Street
Chevy Chase, MD 20815

ABT | BR

5/30/2013 1:52:42 PM



2 1st FLOOR - DEMOLITION
A201 D101 1/4" = 1'-0"



1 00 BASEMENT - DEMOLITION
A300 D101 1/4" = 1'-0"



NO.	REVISION SCHEDULE DESCRIPTION	DATE
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DRAW: JJB
CHECK: RMC

30 MAY 2013

DEMOLITION PLANS

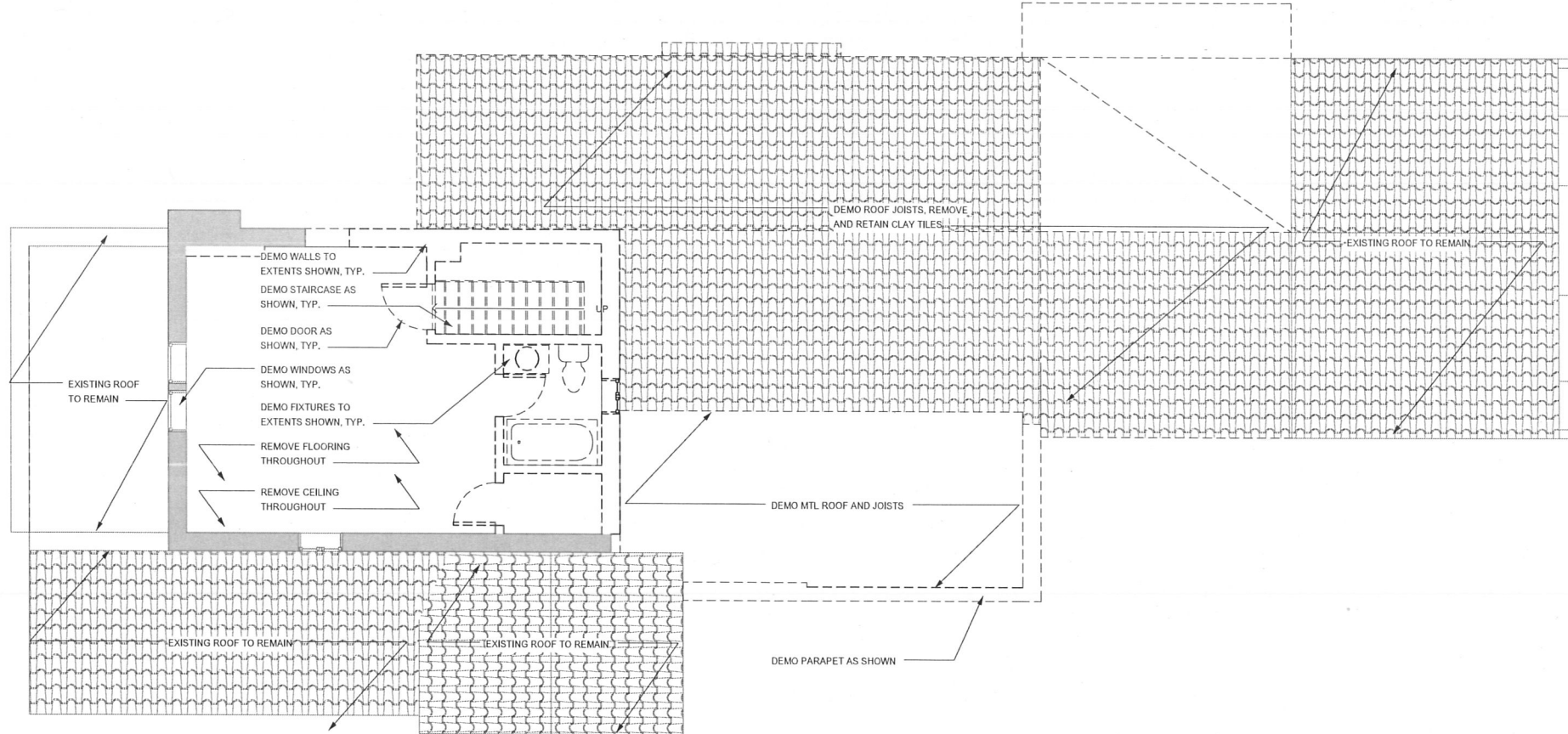
D101

FULL-SIZE HALF-SIZE
1/4" = 1'-0"

NTS

ABT | BR

Bill & Sydney Bray
PERMIT SET
BRAY RESIDENCE
R. MICHAEL CROSS
DESIGN GROUP
DESIGNED BY



1 2nd FLOOR - DEMOLITION
 A201 D102 1/4" = 1'-0"



REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW: JJB
 CHECK: RMC

30 MAY 2013

DEMOLITION PLANS

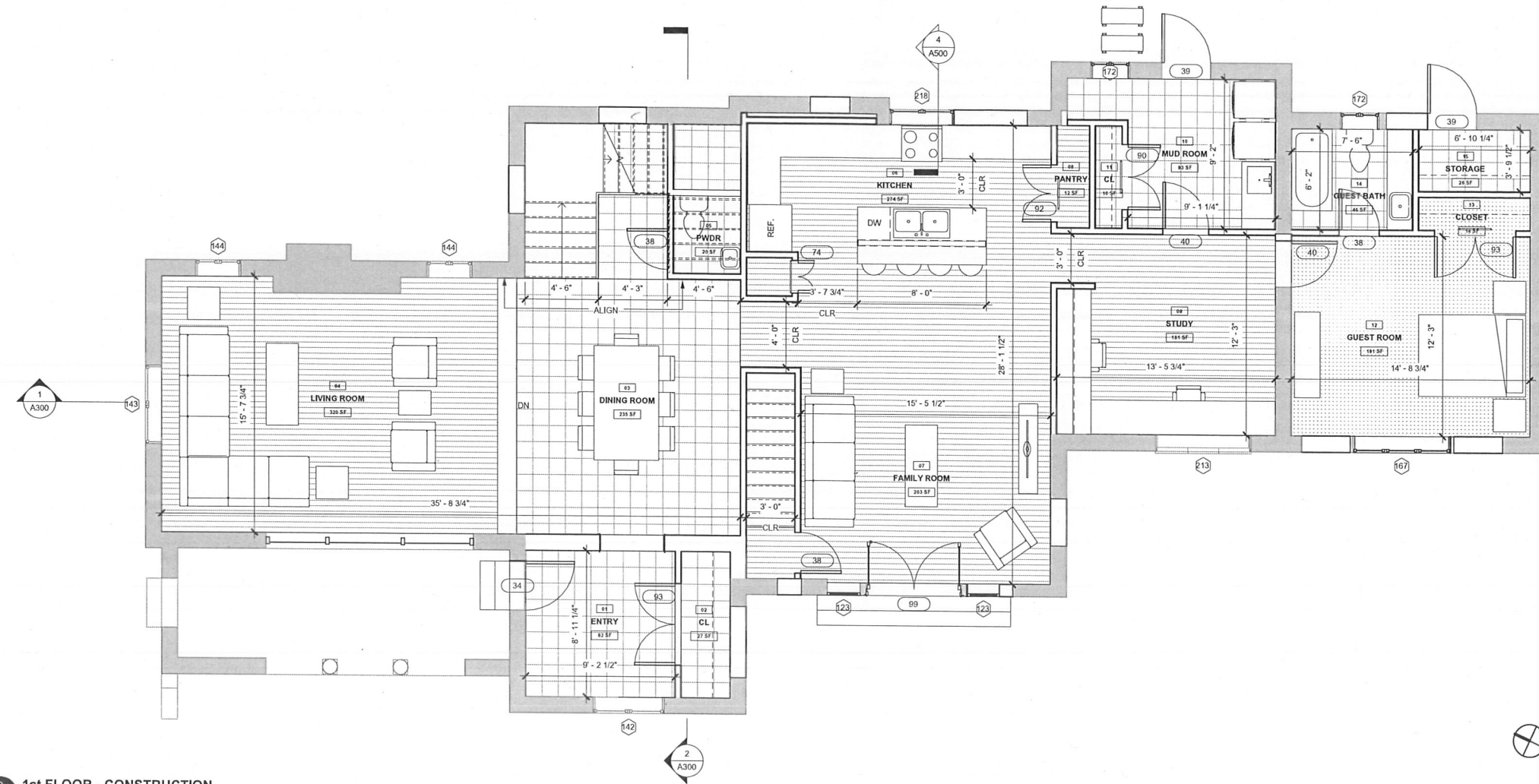
D102

FULL-SIZE HALF-SIZE
 1/4" = 1'-0"

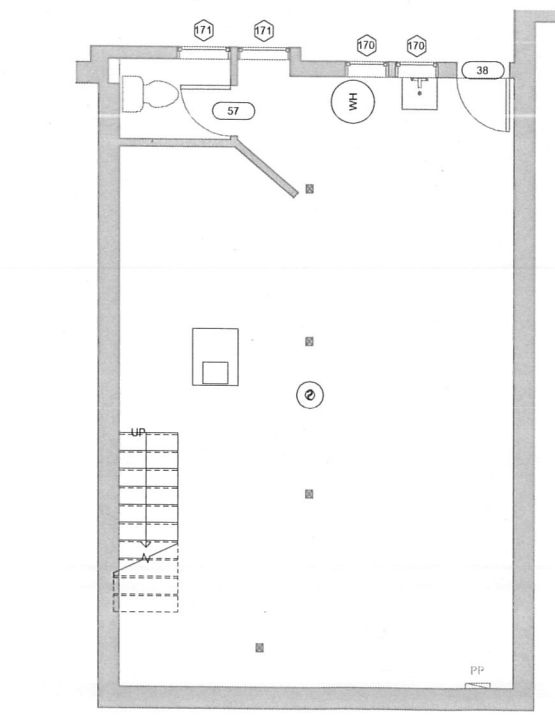
ABT | BR

Bill & Sydney Bray
 PERMIT SET BRAY RESIDENCE
 R. MICHAEL CROSS
 DESIGN GROUP
 DESIGNED BY

5/30/2013 1:52:45 PM



2 1st FLOOR - CONSTRUCTION
NTS



1 00 BASEMENT - CONSTRUCTION
NTS

GENERAL NOTES

- ALL NEW BACKER BOARD IN TUB & SHOWER TO BE NON-PAPER FACED
- ALL NEW WINDOWS TO BE FULLY SEALED TO ROUGH OPENING WITH LOW EXPANSION SPRAY FOAM
- ALL EXTERIOR PENETRATIONS ARE TO BE CAULKED, SEALED, & INSULATED
- ALL PAINTS, COATINGS, & ADHESIVES TO BE LOW OR NO VOC. SEE CHARTS ON A600
- ALL ROOF INSULATION TO BE R-49 MIN. PER CODE
- ALL WALL INSULATION TO BE R-20 MIN PER CODE



REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW: JJB
CHECK: RMC

30 MAY 2013

FLOOR PLANS

A101

FULL-SIZE HALF-SIZE
As indicated

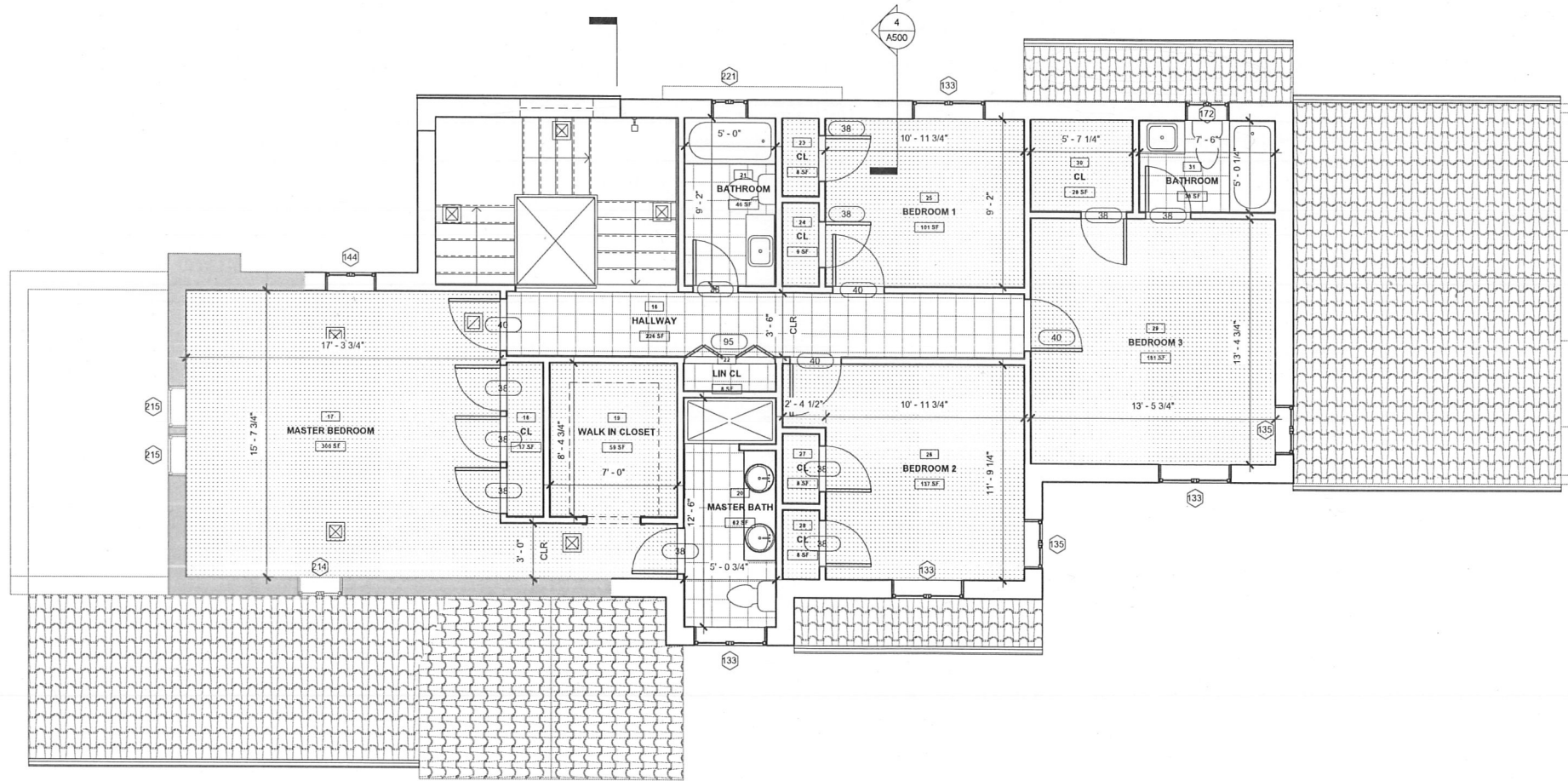
Bill & Sydney Bray
PERMIT SET
BRAY RESIDENCE
DESIGNED BY
R. MICHAEL CROSS
DESIGN GROUP

5/30/2013 1:52:04 PM

1 2nd FLOOR - CONSTRUCTION

A300 A102 1/4" = 1'-0"

NTS



ALLEN BUILT INC.

NO.	REVISION SCHEDULE DESCRIPTION	DATE

DRAW: JJB
CHECK: RMC

30 MAY 2013

ABT | BR

FLOOR PLANS

A102

FULL-SIZE HALF-SIZE

1/4" = 1'-0"

NTS

Bill & Sydney Bray
PERMIT SET
BRAY RESIDENCE
DESIGNED BY
R. MICHAEL CROSS
DESIGN GROUP

5/30/2013 1:52:06 PM

Bill & Sydney Bray
 PERMIT SET BRAY RESIDENCE
 R. MICHAEL CROSS
 DESIGN GROUP

DESIGNED BY



REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW: JJB
 CHECK: RMC

30 MAY 2013

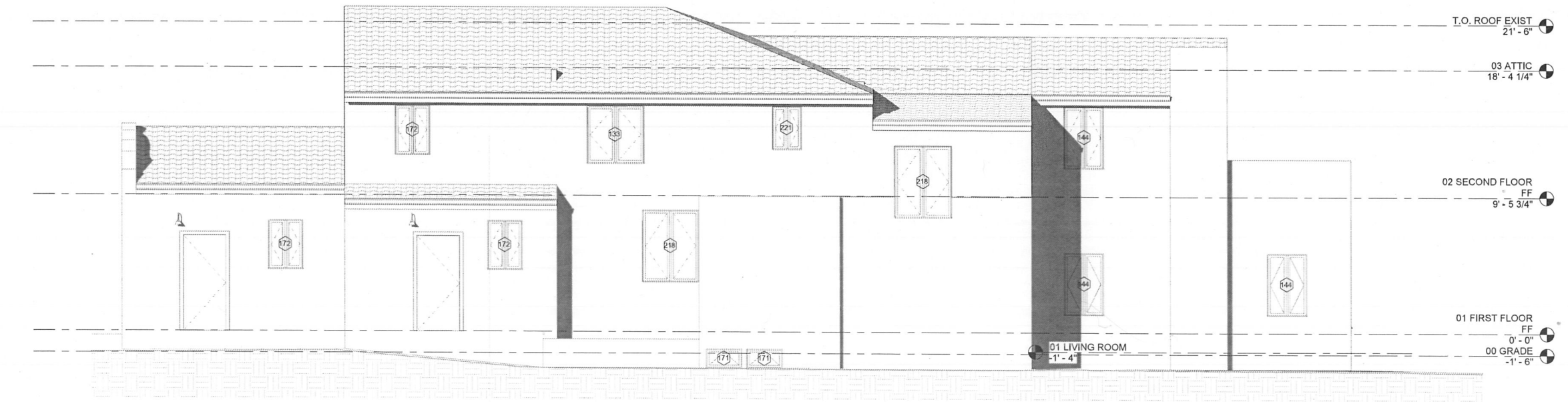
ELEVATIONS

A201

FULL-SIZE HALF-SIZE

NT3

5/30/2013 1:32:17 PM



4 EAST
 NT3



1 WEST
 NT3

Bill & Sydney Bray
BRAY RESIDENCE

DESIGNED BY
R. MICHAEL CROSS
DESIGN GROUP

PERMIT SET



ALLEN BUILT INC

NO.	REVISION SCHEDULE		DATE
	DESCRIPTION		

DRAW: Author
CHECK: Checker

30 MAY 2013

ABT | BR

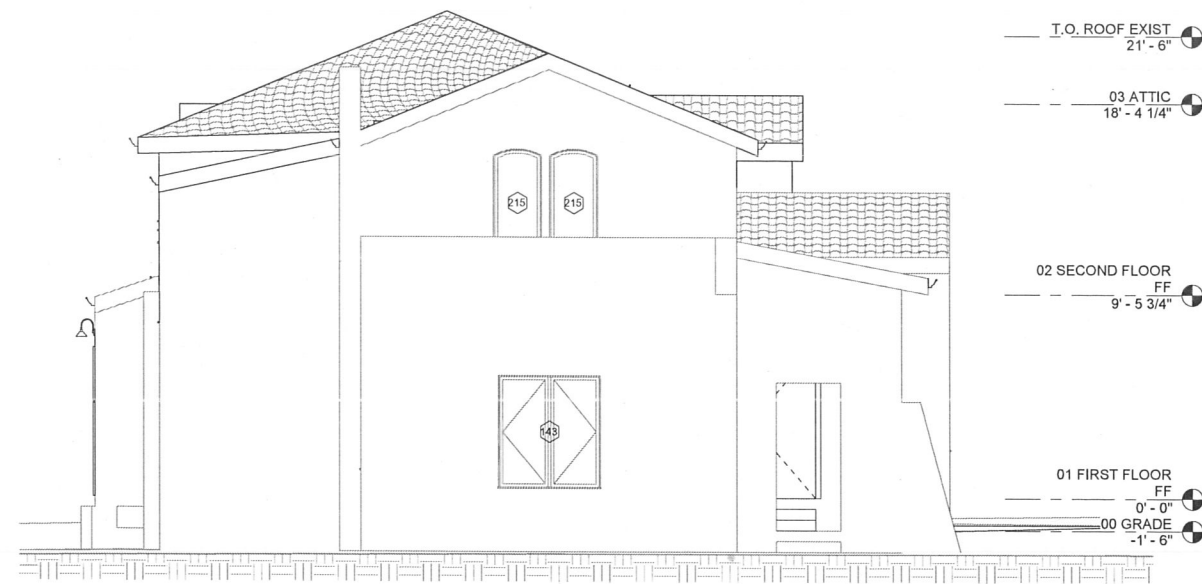
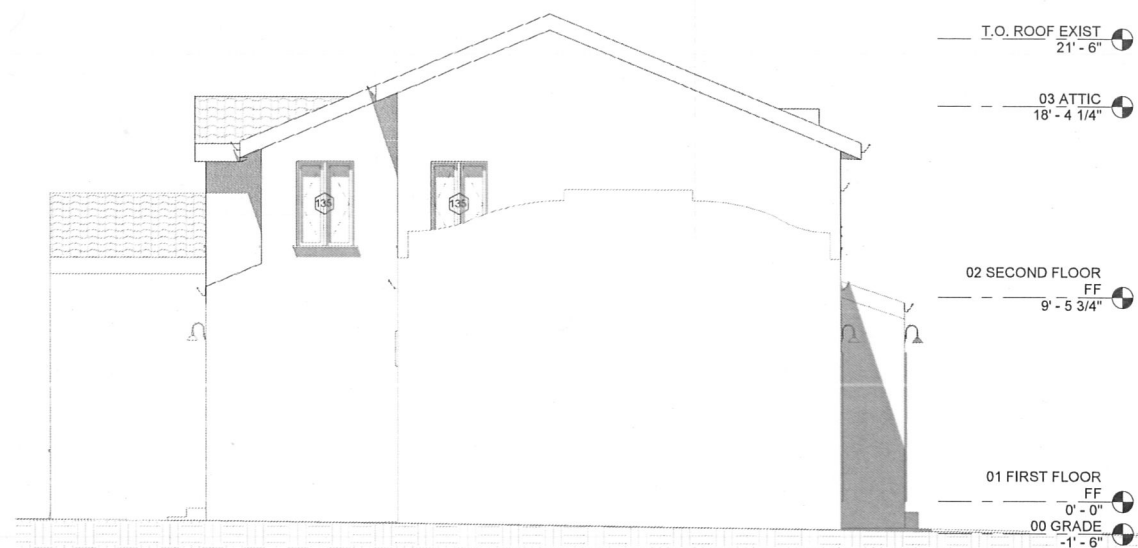
ELEVATIONS

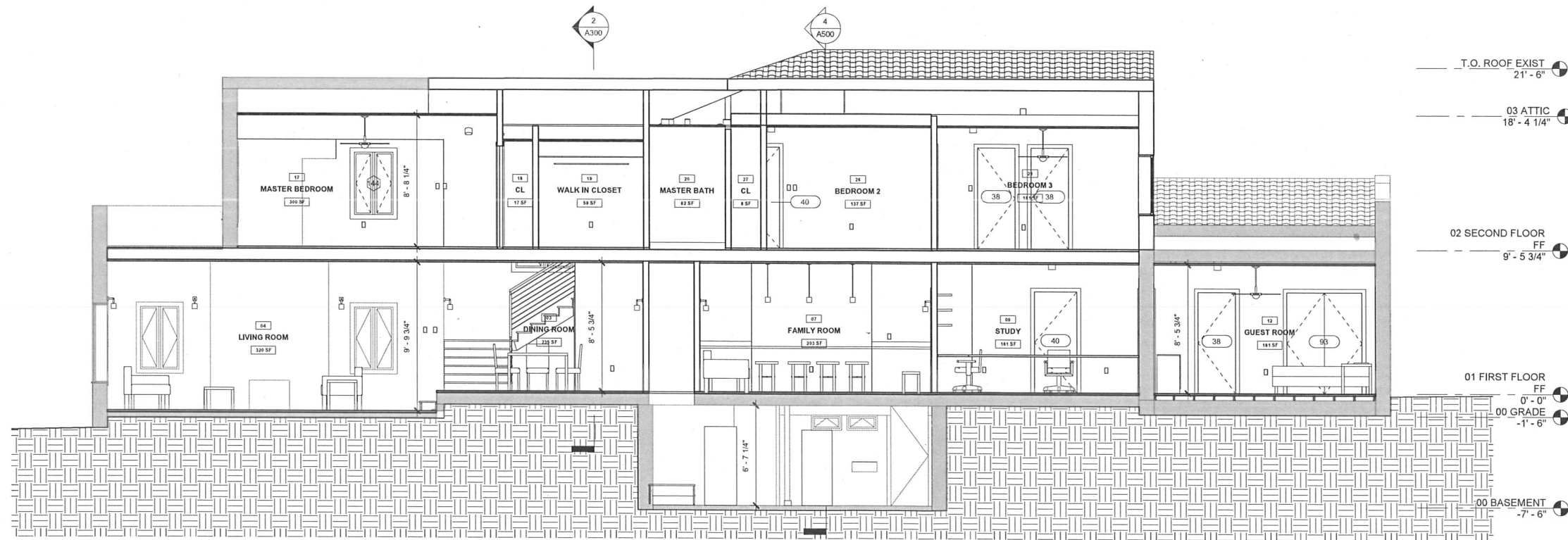
A202

FULL-SIZE HALF-SIZE

NTS

5/30/2013 1:32:24 PM





1 LONGITUDINAL SECTION

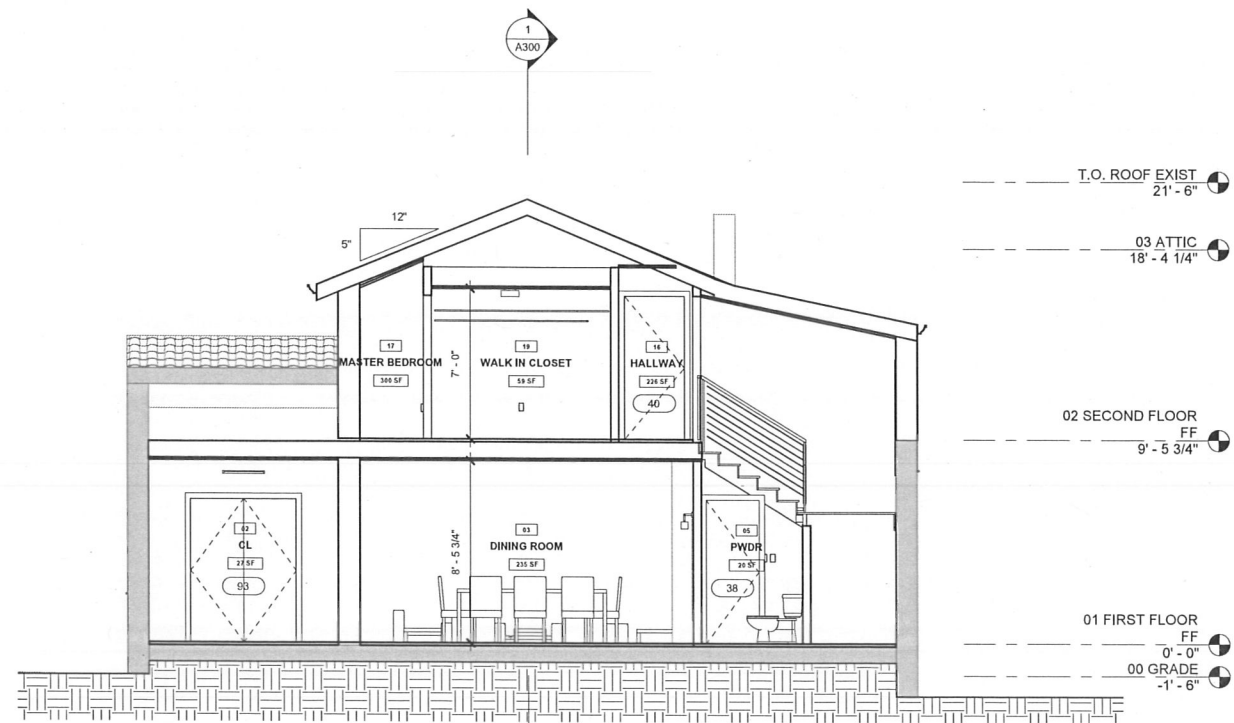
NTS

NOTE:

- ALL ROOF INSULATION TO BE R-49 MIN. PER CODE
- ALL WALL INSULATION TO BE R-20 MIN PER CODE

2 CROSS SECTION

NTS



T.O. ROOF EXIST
21'-6"

03 ATTIC
18'-4 1/4"

02 SECOND FLOOR
FF
9'-5 3/4"

01 FIRST FLOOR
FF
0'-0"

00 GRADE
-1'-6"



ALLEN BUILT INC.

NO.	REVISION SCHEDULE	DATE
	DESCRIPTION	

DRAW: JJB
CHECK: RMC

30 MAY 2013

SECTIONS

A300

FULL-SIZE HALF-SIZE

1/4" = 1'-0"

NTS

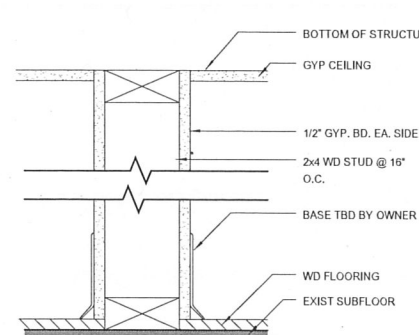
Bill & Sydney Bray
PERMIT SET
BRAY RESIDENCE

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DESIGN GROUP

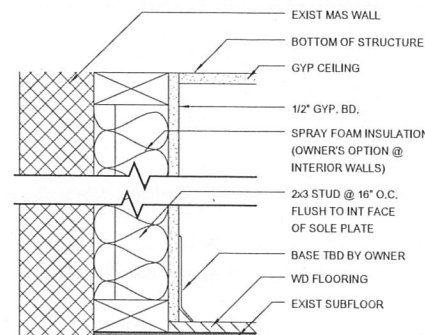
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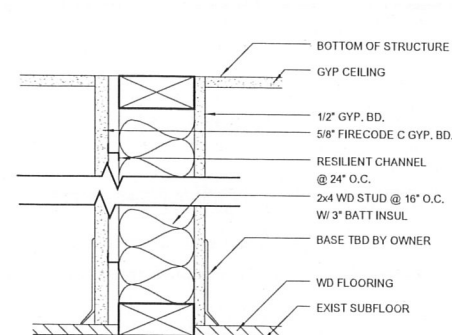
PARTITION NOTES
 ASSUME INTERIOR PARTITIONS TO BE TYPE 'A' UNLESS OTHERWISE NOTED



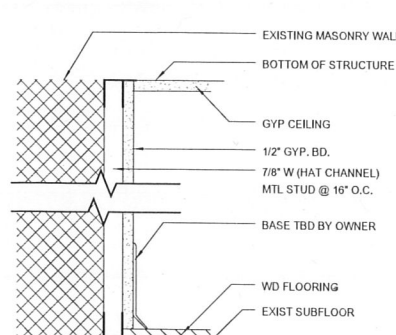
A TYP PARTITION



B TYP FURRING

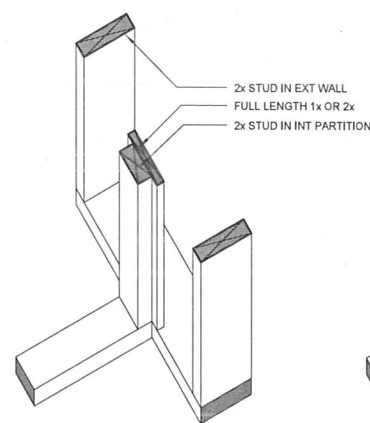


C 1HR RATED PARTITION - U327 STC 50

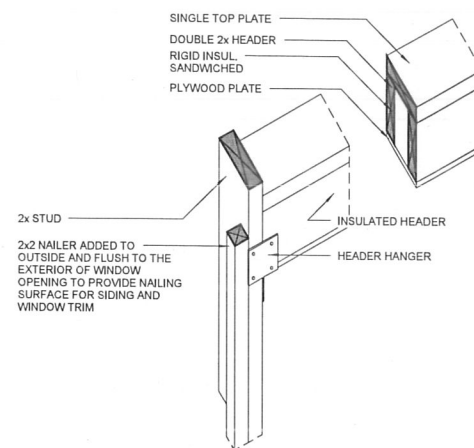
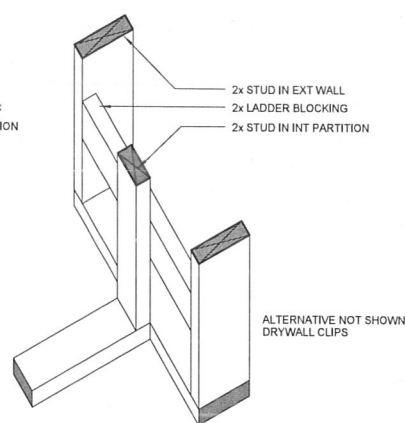


D PARTY WALL FURRING

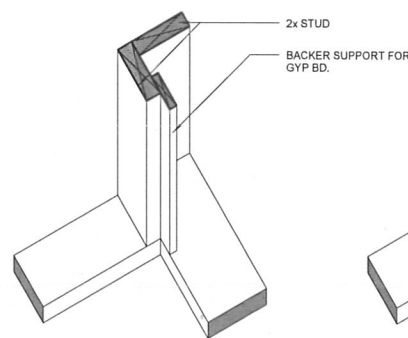
5 PARTITION TYPES
 A500 3" = 1'-0"



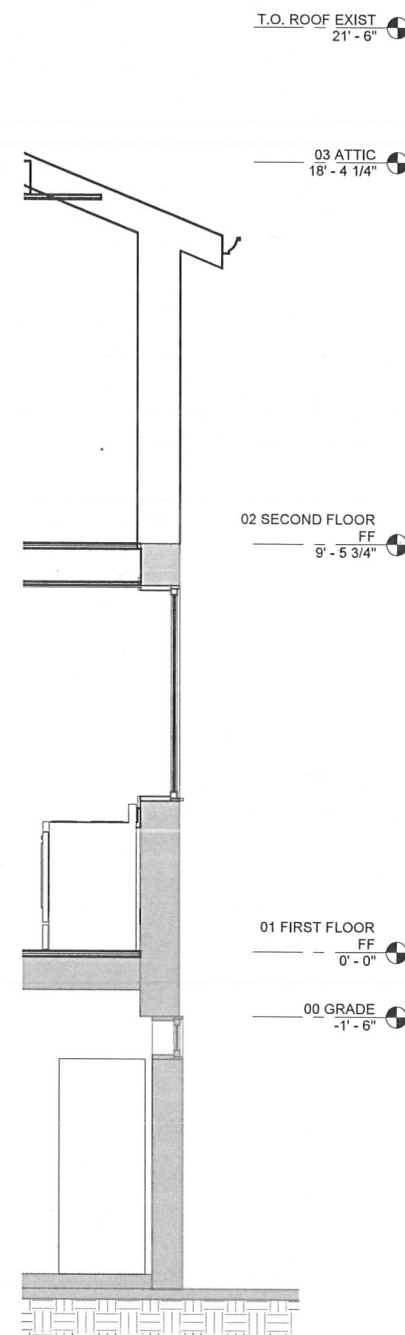
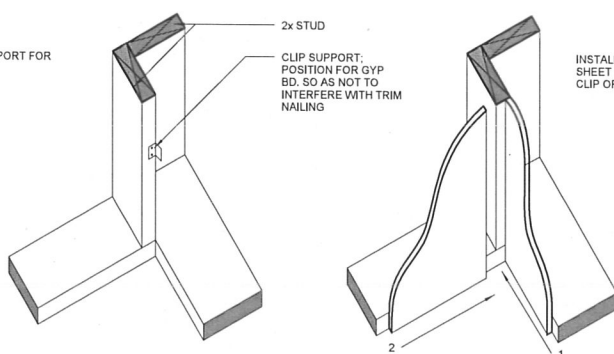
03 STANDARD DETAILS - T-WALL
 A500 1 1/2" = 1'-0"



02 STANDARD DETAILS - HEADER
 A500 1 1/2" = 1'-0"



01 STANDARD DETAILS - 2 STUD CORNER
 A500 1 1/2" = 1'-0"



4 WALL SECTION
 A151 A500 1/2" = 1'-0"



REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW: JJB
 CHECK: RMC

30 MAY 2013

DETAILS

A500

FULL-SIZE HALF-SIZE
 As indicated

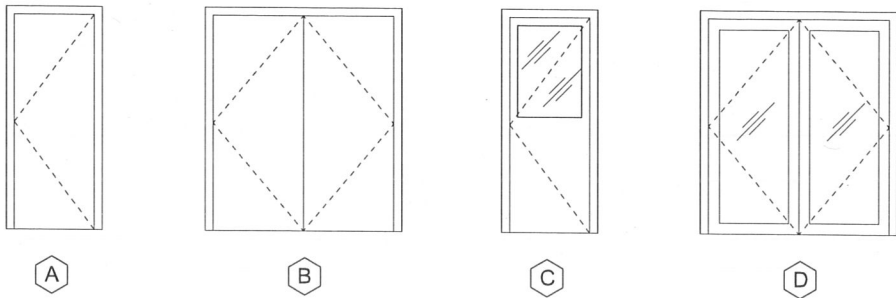
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DOOR LEGEND

WINDOW SCHEDULE										
Count	Type Mark	Rough Opening		Type	Manufacturer	Model	Material	Finish	Head Height	Comments
		Width	Height							
00 BASEMENT										
2	170	2' - 0"	1' - 0"	Awning					6' - 0"	
2	171	2' - 6"	1' - 4"	Awning					6' - 4"	
01 FIRST FLOOR FF										
2	123	2' - 0"	7' - 0"	Sidelights						
1	142	4' - 4 1/2"	4' - 6 3/4"	Casement Dbl with Trim					6' - 9 1/4"	REPAIR EXISTING
1	143	4' - 9 1/2"	5' - 3"	Casement Dbl with Trim					5' - 8 1/4"	REPAIR EXISTING
2	144	2' - 9 1/4"	4' - 3 3/4"	Casement Dbl with Trim					5' - 7"	REPAIR EXISTING
1	167	6' - 0"	4' - 0"	Casement-Triple w Trim					6' - 8 3/4"	
1	169	5' - 10 1/2"	3' - 6"	Casement-Triple w Trim					6' - 2 3/4"	REPAIR EXISTING
2	172	2' - 5"	3' - 5"	Casement Dbl with Trim					7' - 9"	
1	213	5' - 8 1/2"	1' - 6"	3-Wide Push-out Casement					7' - 8 3/4"	REPAIR EXISTING
1	218	4' - 0"	5' - 0"	Casement Dbl with Trim					8' - 6"	
02 SECOND FLOOR FF										
4	133	4' - 0"	4' - 0"	Casement Dbl with Trim					6' - 3"	
2	135	2' - 8"	4' - 0"	Casement Dbl with Trim					6' - 3"	
1	144	2' - 9 1/4"	4' - 3 3/4"	Casement Dbl with Trim					6' - 3 3/4"	
1	172	2' - 5"	3' - 5"	Casement Dbl with Trim					6' - 3"	
1	214	2' - 5"	1' - 7 3/4"	Casement Dbl with Trim					5' - 4 1/2"	REPAIR EXISTING
2	215	2' - 3"	5' - 0"	Archtop with Trim					6' - 8 3/4"	REPAIR EXISTING
1	218	4' - 0"	5' - 0"	Casement Dbl with Trim					3' - 6 1/2"	
1	221	2' - 0"	3' - 0"	Casement Dbl with Trim					6' - 3"	

DOOR SCHEDULE						
Count	Mark	Door Size	Type	Manufacturer	Model	Description
00 BASEMENT						
1	38	30" x 80"	Single-Flush			
1	57	28" x 80"	Single-Flush			
01 FIRST FLOOR FF						
1	34	36" x 84"	Single-Flush			
3	38	30" x 80"	Single-Flush			
2	39	36" x 80"	Single-Flush			
2	40	34" x 80"	Single-Flush			
1	74	24" x 80"	Double-Flush			
1	89	48" x 80"	Opening-Cased			
1	90	48" x 80"	Double-Flush			
1	92	42" x 80"	Double-Flush			
2	93	60" x 80"	Double-Flush			
1	99	72" x 84"	Double Flush			French Doors
02 SECOND FLOOR FF						
11	38	30" x 80"	Single-Flush			
4	40	34" x 80"	Single-Flush			
1	84	36" x 80"	Opening-Cased			
1	95	60" x 80"	Bifold-4 Panel			
1	98	24" x 36"	Ceiling Access Panel			HATCH

ROOM SCHEDULE											
Number	Name	Height	Ceiling Height	Perimeter	Area	Finishes					Comments
						General Finish	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	
01 FIRST FLOOR FF											
01	ENTRY			36' - 3 1/2"	82 SF						
02	CL			23' - 10 3/4"	27 SF						
03	DINING ROOM			62' - 1"	235 SF						
04	LIVING ROOM			72' - 10"	320 SF						
05	PWDR			17' - 9 1/4"	20 SF						
06	KITCHEN			77' - 8 1/4"	274 SF						
07	FAMILY ROOM			57' - 5 1/4"	203 SF						
08	PANTRY			16' - 6"	12 SF						
09	STUDY			54' - 0 1/4"	161 SF						
10	MUD ROOM			44' - 0 1/4"	93 SF						
11	CL			15' - 9"	10 SF						
12	GUEST ROOM			53' - 11 3/4"	181 SF						
13	CLOSET			17' - 8 1/2"	14 SF						
14	GUEST BATH			27' - 4"	46 SF						
15	STORAGE			21' - 3 1/2"	26 SF						
02 SECOND FLOOR FF											
16	HALLWAY			92' - 0 1/2"	226 SF						
17	MASTER BEDROOM			81' - 8 1/2"	300 SF						
18	CL			20' - 9 1/2"	17 SF						
19	WALK IN CLOSET			30' - 9 1/2"	59 SF						
20	MASTER BATH			39' - 8 3/4"	62 SF						
21	BATHROOM			28' - 4"	46 SF						
22	LIN CL			13' - 1 1/2"	8 SF						
23	CL			12' - 6"	8 SF						
24	CL			13' - 1"	9 SF						
25	BEDROOM 1			40' - 3 1/2"	101 SF						
26	BEDROOM 2			50' - 6 3/4"	137 SF						
27	CL			11' - 6 3/4"	8 SF						
28	CL			11' - 6 3/4"	8 SF						
29	BEDROOM 3			53' - 9 1/4"	181 SF						
30	CL			21' - 3"	28 SF						
31	BATHROOM			25' - 0 1/2"	38 SF						

Bill & Sydney Bray
BRAY RESIDENCE

R. MICHAEL CROSS
DESIGN GROUP

PERMIT SET

DESIGNED BY



REVISION SCHEDULE
NO. DESCRIPTION DATE

DRAW: JJB
CHECK: RMC

30 MAY 2013

DOORS &
WINDOWS

A600

FULL-SIZE HALF-SIZE
3/8" = 1'-0"

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DIVISION 1- GENERAL REQUIRMENTS

1. All construction shall be in compliance with the provisions of the 2006 IBC & IRC building codes, and DC Amendments
2. Work performed shall comply with these general notes unless otherwise noted on plans.
3. Work performed shall comply with all applicable local and state codes, ordinance and regulations.
4. On-site verification of all dimensions and conditions shall be the responsibility of the general contractor and his subcontractors.
5. Discrepancies: The contractor shall compare and coordinate all drawings, when in the opinion of the contractor, a discrepancy exists he shall promptly report it to the Designer for proper adjustment before proceeding with the work.
6. Omissions: In the event certain features of the construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.
7. All work is to be performed in a professional manner and in accordance with standard practice and shall be in strict compliance with manufacturer's specifications and/or recommendations.
8. Dimensions shall be read or calculated and never scaled. All dimensions are to the rough unless noted otherwise.
9. The General and Sub-Contractors shall carefully examine the drawings inspect the site and acquaint themselves with all governing ordinances, laws, etc. and otherwise familiarize themselves with all matters which may affect performance of the work.
10. Mechanical units and any other equipment supported by the structure with weights in excess of 200 LBS. shall be brought to the attention of the structural engineer prior to installation.
11. Shop drawing for all structural elements (roof trusses) shown on the contract documents must be submitted by the general contractor and reviewed by the engineer. Should the owner or general contractor fail to obtain the structural engineer's review of the shop drawings, the structural engineer will not accept responsibility for the design and certification of this project. Prior to submission of the shop drawings, the contractor shall review shop drawings for compliance with the contract documents. Shop drawings shall not be issued prior to final construction set.

12. Design Loads:
Live Load Floors (Non-Sleeping Areas) = 40 PSF
Live Load Floors (Sleeping Areas) = 30 PSF
Dead Load Floors = 10 PSF
Live Load Roof (Top Chord) = 30 PSF
Dead Load Roof (Trusses) = 17 PSF
Deck Load = 10 PSF (Dead load)
Deck Load = 40 PSF (Live load)
Wind Load = 90 MPH @ 3SEC. GUST
Stair Load = 40 PSF
Snow Load = 30 PSF
New Stairway minimum loading designed for LL=100psf

13. The soil conditions shall conform to or exceed the following:
Bearing capacity: Min. 1500 PSF & shall be field verify be a licensed soil engineer. Under all footing and slabs on grade.

14. The structural integrity of the building is dependent upon completion according to the plans and specifications. The structural engineer of record assumes no liability for the structure during construction. The method of construction and sequence of operations is the sole responsibility of the contractor. The contractor shall supply any necessary bracing, guys, etc. to properly brace the structure against wind, dead and live loads until the building is completed according to the plans specifications. Any questions regarding temporary bracing requirements should be forwarded to a structural engineer for review.

Division 2- Wood

Lumber:

1. All joists, rafters, and headers shall be, unless otherwise noted, Hem - Fir #2 or equal with the following minimum allowable stresses and modulus of elasticity:

Extreme fiber stress: Fb= 1000 PSI
(Repetitive member)
Horizontal shear: Fv=95 PSI
Compression perpendicular to grain: Fc=405 PSI
Modulus of elasticity: E=1,300,000 PSI
Moisture content: 19%

2. All exterior lumber and lumber in contact with masonry and concrete shall be pressure preservative treated in accordance with AWPA standards.
3. All nailing shall comply with IRC code, latest edition and all state and local building codes.
4. Built-up beams or joists formed by a multiple of 3-ply or less 2 x members shall be connected w/ 16d nails at 8" o.c.
5. Build up at beams formed by 3 plys of laminated veneer lumber shall be fasten w 3-rows 16d nails at 12" o.c. on each side or per manufacturers recommendation.
6. Block solid at all bearing supports where adequate lateral support is not otherwise provided.
7. When framing end to end joists shall be secured together by metal straps.
8. All rafters and joists framing from opposite sides shall lap at least three (3) inches and be spiked together.
9. Do not alter sizes of members noted without approval of Designer.
Cutting of Beams, Joist and Rafters:

10. No structural member shall be omitted; notched; cut, blocked out or relocated without prior approval by the Designer.
11. Cutting of wood beams, joists and rafters shall be limited to cuts and bored holes not deeper than one-sixth (1/6th) the depth of the member and shall not be located in the middle one-third (1/3rd) of the span. Notches located closer to supports than three times the depth of the member shall not exceed one-fifth (1/5th) the depth. Holes bored or cut into joist shall not be closer than two (2) inches to the top or bottom of the joists and the diameter of the hole shall not exceed one-third (1/3rd) the depth of the joist.
ARCH

Wood I-Joists

1. Joist manufacture to New Roman supply shop drawings and erection drawings a New Roman must be sealed by a Professional Engineer registered in the governing jurisdiction. Floor joist manufacturer to supply connection and bearing details, bridging and bracing details, nominal dimensions and joist layout configurations.
2. Provide solid material, 1 1/4" (minimal), at all bend boards, end conditions and ring joist as recommended by the manufacturer.
3. Floor joist shall be designed to limit deflection to L/480 live load, or L/720 live load, for floors with marble, ceramic, tile, or limestone. For spans greater than 14'-0" the total load deflection shall not exceed 7/32" as specified by the Marble Institute of America.
4. Provide 2x4 cripples @ all interior bearing conditions.

Fasteners:

1. Anchor bolts shall be 1/2" diameter X 10" long galvanized (see drawings for placement and spacing)
2. Flitch beams shall have a minimum Fb = 1000 PSI, E=1,300,000 PSI with 2 rows 1/2" bolts, 16" o.c. top and 32" o.c. at bottom unless otherwise noted.
3. Joist Hangers shall be used to support all purlins, joists and beam not framed over supporting members.
4. Joist Hangers shall be "TECO" unless otherwise noted or an approved equal.
5. Machine bolt and Carriage bolt holes in wood shall be drilled 1/16" larger than diameter of bolt.
6. Lag screws shall be square head, of structural grade steel, be placed with washers under the head.
7. Bolts in wood framing shall be standard machine bolts with standard malleable iron washers or steel plate washers.

Headers & Lintels:

Lintels sizes shall be per the Headers and lintel schedules shown on the drawings, unless otherwise noted.

Stairways

1. The maximum riser height shall be 8 1/4" and a minimum tread width of 9".
2. Stairways shall not be less than 36" in clear width and headroom of not less than 6'-8". The minimum width at the handrail shall not be less than 32" with a hand rail on one side and 28" with a hand rail on both sides.
3. Enclosed accessible space under stairs shall have walls and soffits protected by on the enclosed side with 1/2" drywall.
4. Height of handrail (R315.1) - To be not less than 34" & not greater than 38" in height.
5. Handrail size (R315.2) - To be not less than 1 1/4" & not greater than 2 5/8" in diameter.

Guardrails:

1. Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guardrails not less than 36 inches in height.
2. Open sides of stairs with a total rise of more than 30 inches above the floor or grade below shall have guardrails not less than 34 inches in height measured vertically from the nosing of the treads.
3. Required guardrails on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which will not allow passage of an object 4 inches in diameter.
4. Exception: The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway may be of such a size that a sphere 6 inches in diameter cannot pass through.

Bridging:

1. Where joist depth exceeds twelve nominal inches there shall be not less than one line of bridging in every eight feet of span in floor, attic and roof framing. The bridging shall consist of not less than one by three inch lumber double nailed at each end or of equivalent metal bracing of equal rigidity.

Sub-floor:

1. All plywood shall be pine or equal and shall be manufactured and graded in accordance with "Product Standard P-1-66" for soft plywood - construction and industrial.

Division-3

Concrete Notes:

1. All concrete shall be 3500 PSI at 28 days.
2. All reinforcing, anchors, pipe sleeves & other inserts shall be secured in place & located in accordance with the drawings before concrete is placed.
3. Reinforcing steel shall conform to ASTM A 615 deformed grade 60.
4. Reinforcing in footings shall be 3" clear from the bottom of footings & from the sides.
5. No concrete shall be placed until all reinforcement has been placed and inspected by the building official.
6. New footing shall be 2'-6" below grade line below frost line & shall be on an undisturbed soil, all contaminated soil must be removed.

WOOD HEADER SCHEDULE

UNLESS NOTED OTHERWISE IN PLAN, PROVIDE HEADERS PER THE FOLLOWING:

ROUGH OPENING WIDTH	2x4 WALL	2x6 WALL	# OF JACK STUDS
LESS THAN 3'-0"	(2) 2x6	(2) 2x6	1
3'-1 TO 4'-0"	(2) 2x8	(2) 2x8	1
4'-1 TO 6'-0"	(2) 2x10	(2) 2x10	2
6'-1 TO 8'-0"	(2) 2x12	(2) 2x12	2
OVER 8'-0"	SEE STRUCTURAL PLANS		3

Division 4:

Structural Steel

1. Structural steel shall be fabricated and erected in accordance with the latest AISI "Specifications for Design, Fabrication and Erection of Structural Steel for Buildings".
2. Structural steel shapes shall conform to the following:
W-shapes - ASTM A572 (Grade 50) or ASTM A992
Plates, Channels, Angles, Bars - ASTM A36 or ASTM A992
Pipes - ASTM A53 (Grade B)
Structural Tubes - ASTM A500 (Grade B)
Those members indicated to be A36 steel shall conform to ASTM A36.
3. Shop and field connections shall be welded or made with 3/4" diameter high strength bolts conforming to ASTM A325 of ASTM A490.
4. All welding shall conform to AWS Specifications.
5. No holes shall be located in flanges of beams or columns unless approved by the engineer. No field cutting of the steel members shall be permitted without prior authorization of the structural engineer.
6. Steel beams bearing on masonry or concrete walls shall have standard angle wall anchors.
7. Structural steel exposed to weather shall be galvanized.
8. Structural Steel members shall be shop painted / coated per project specifications. In the absence of project specifications, provide one coat of primer in compliance with manufacturer's instructions to surfaces except those to be galvanized, areas to be field welded, concealed by fireproofing, or embedded in concrete.
9. Splicing of structural steel members is prohibited without approval of location and splice design by the structural engineer.

Welding

1. Shall be performed in accordance with the American Welding Society "Standard Code for ARC and Gas Welding in Building Construction" (AWS D1.1), latest edition, and shall be performed by certified welders only.
2. All welds shall be 3/16" fillet welds unless otherwise noted. All partial and full penetration welds shall performed by welders certified to perform such welds. All partial and full penetration welds are subject to testing as directed by Engineer.

Handrails

1. Handrail assemblies and guards shall be designed to resist a load of 50 plf applied in any direction at the top and to transfer this load through the supports to the structure. Handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds, applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building (this load need not act concurrently with the loads specified above.) Intermediate rails, balusters and panel fillers shall be designed to withstand a horizontally applies normal load of 50 pounds. See the governing building code for all requirements. Contractor to submit shop drawings for review.

Division 5-

Structural Masonry

1. All material and workmanship shall be in accordance with the applicable standards and specifications of the National Concrete Masonry Association and ACI Standard 530/530.1.
2. Hollow load bearing concrete masonry units shall conform to ASTM C90 Grade N or S, Type I.
3. Solid load bearing concrete masonry units shall conform to ASTM C145, Grade N or S, Type I. Solid load bearing building brick shall conform to ASTM C62 and/or ASTM C216.
4. All mortar shall be Type S. Mortar shall conform to ASTM C-270.
5. Grout for filling reinforced or non-reinforced cells of masonry units shall be either pea gravel concrete or Portland cement grout. Minimum strength shall be 2,500 PSI, ASTM C-476.
6. Reinforcing bars for reinforced masonry shall conform to ASTM A615. Provide a minimum of 3 courses of solid brick or one course 100%. Solid masonry under wall bearing ends of all joists and 100% solid concrete block 8" minimum width and 2'-8" minimum length under beam and lintel bearing unless otherwise shown. All portions of bearing walls having a horizontal cross-section of 4 square feet or less shall be of solid masonry down to footing.
7. Piers of solid or reinforced masonry shall extend from top of footing to beam bearing. All cells containing reinforcing bars and/or anchor bolts shall be fully grouted.
8. All walls shall have horizontal joint reinforcements at 16" on centers. Below grade walls, retaining walls and piers shall have joint reinforcement at 8" on centers.
9. Provide adequate, temporary bracing as required during construction to withstand lateral loads.

Grouting

1. Use low-lift or high lift grouting at contractor's option.
2. Low-lift, lay masonry to a maximum height of 4'-0". Provide minimum clear dimension of 2" and a clear area of 8 sq. in. in vertical cores. Place reinforcement. Reinforcement to project 36 DIA. Above masonry to lap reinforcement of the next lift. Pour grout using container with spout or chute. Rod or vibrate grout, placing grout continuously. Terminate grout 1/2" below top of masonry. Stop grout in vertical cells, 1-1/2" below bond beams.
3. High-lift, lay masonry to story height. Reinforced vertical cells should be at least 3 inches in dimension. Remove all foreign material and debris through clean-out openings at the bottom of all reinforced cores. Provide clean-out openings minimum 3" by 4". Clean out should be made before the start of wall laying. Check reinforced cells for cleanliness and reinforcement positioning. Close clean-out openings and start grouting.
4. Pump a uniform height of grout in max. 5' lifts and immediately puddle or vibrate the grout. Vibration is preferable to puddling. The first vibration should follow by not more than 10 minutes the pouring of the grout. Then pour succeeding lifts of grout after waiting 15 to 60 minutes to allow for settlement and absorption of excess water. The waiting period depends on weather conditions and absorption rates of the masonry. Reconsolidate each lift by vibrating several inches into the preceding lift. Consolidation of a lift and reconsolidation of a preceding lift also may be done at the same time.
5. Repeat the waiting, pouring, and reconsolidation steps until the top of the pour is reached. Reconsolidate the top lift after the required waiting period and fill with grout any space left by settlement shrinkage.



ALLEN BUILT INC

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW: FMC
CHECK: RMC

30 MAY 2013

STRUCTURAL
NOTES

S100

FULL-SIZE HALF-SIZE

1" = 1'-0"

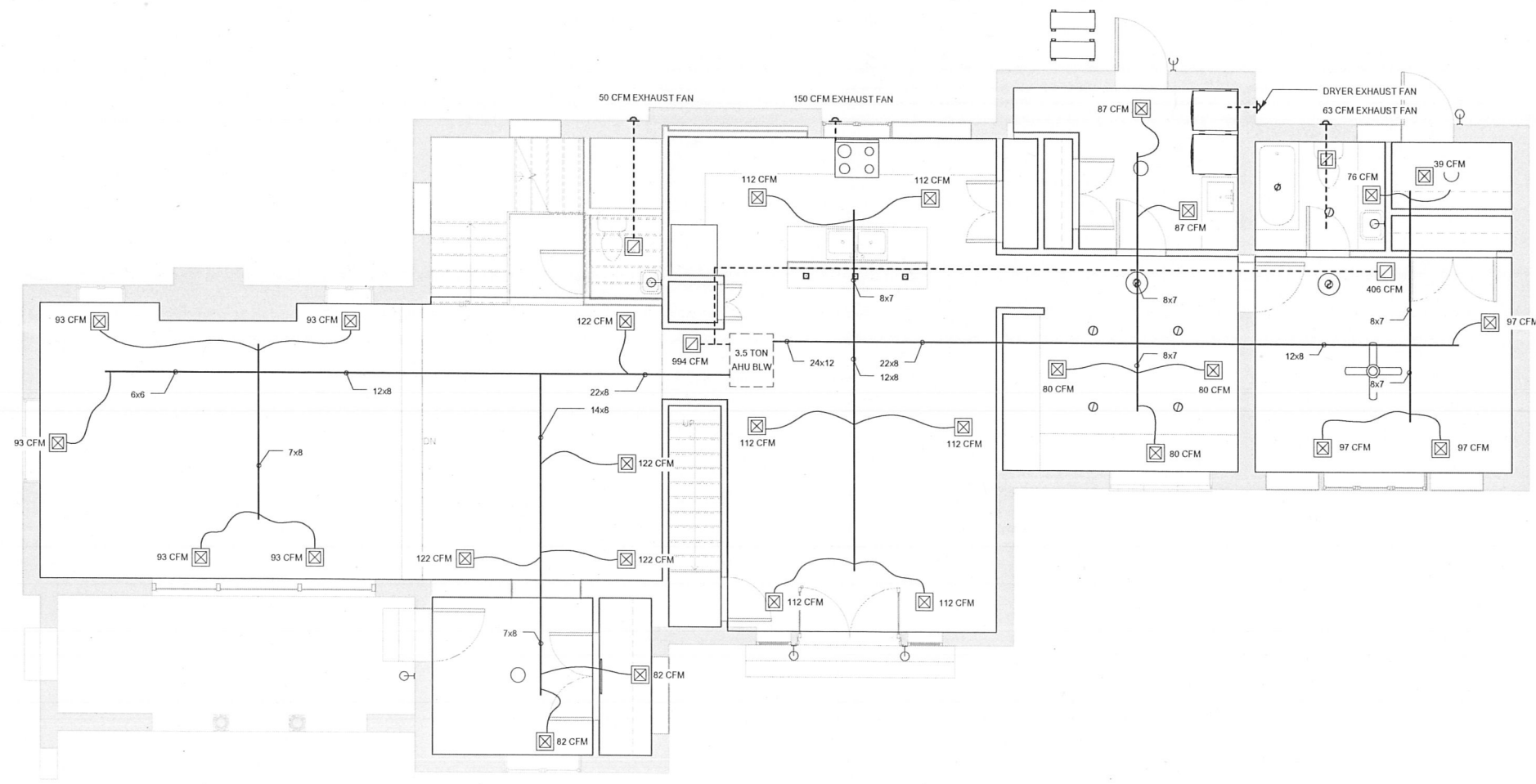
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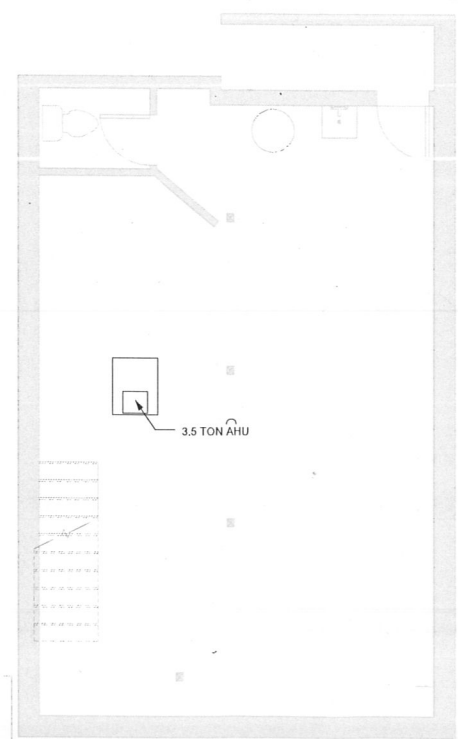
Bill & Sydney Bray
BRAY RESIDENCE

R. MICHAEL CROSS
DESIGN GROUP

DESIGNED BY



2 1st FLOOR - MECHANICAL
 A201 M101 1/4" = 1'-0"



1 00 BASEMENT - MECHANICAL
 A200 M101 1/4" = 1'-0"

AHU Schedule						
Level	Family	CFM	ESP	Cooling Cap.	Heating Cap.	Fan
03 ATTIC	Air Handling Unit - Split System - Horizontal	800				
00 BASEMENT	Air Handling Unit - Split System - Vertical	1400				
00 GRADE	Compressor					
00 GRADE	Compressor					

MECHANICAL LEGEND

- CEILING RETURN
- CEILING SUPPLY GRILLE
- EXHAUST FAN W/ TIMER
- WALL SUPPLY GRILLE
- WALL RETURN
- SUPPLY DUCT
- RETURN DUCT

GENERAL NOTES

- ALL DUCTWORK TO BE FULLY TAPED & SEALED
- ALL DUCTWORK OUTSIDE CONDITIONED SPACE TO BE INSULATED
- ALL GRILLS & REGISTER BOOTS TO BE SEALED TO GYP BD W/ SEALANT OR FABRIC & MASTIC
- ALL NEW BATH EXHAUST FANS TO BE ON PUSH BUTTON TIMERS, LEVITON 6290M OR SIM.
- MECH SUB-CONTRACTOR TO PROVIDE MAN J & D PRIOR TO FABRICATION & INSTALLATION
- ALL EXHAUST VENTS TO BE SELF-CLOSING & FITTED WITH PEST SCREENS



REVISION SCHEDULE

NO.	DESCRIPTION	DATE

DRAW: JJB
 CHECK: RMC

30 MAY 2013

MECHANICAL

M101

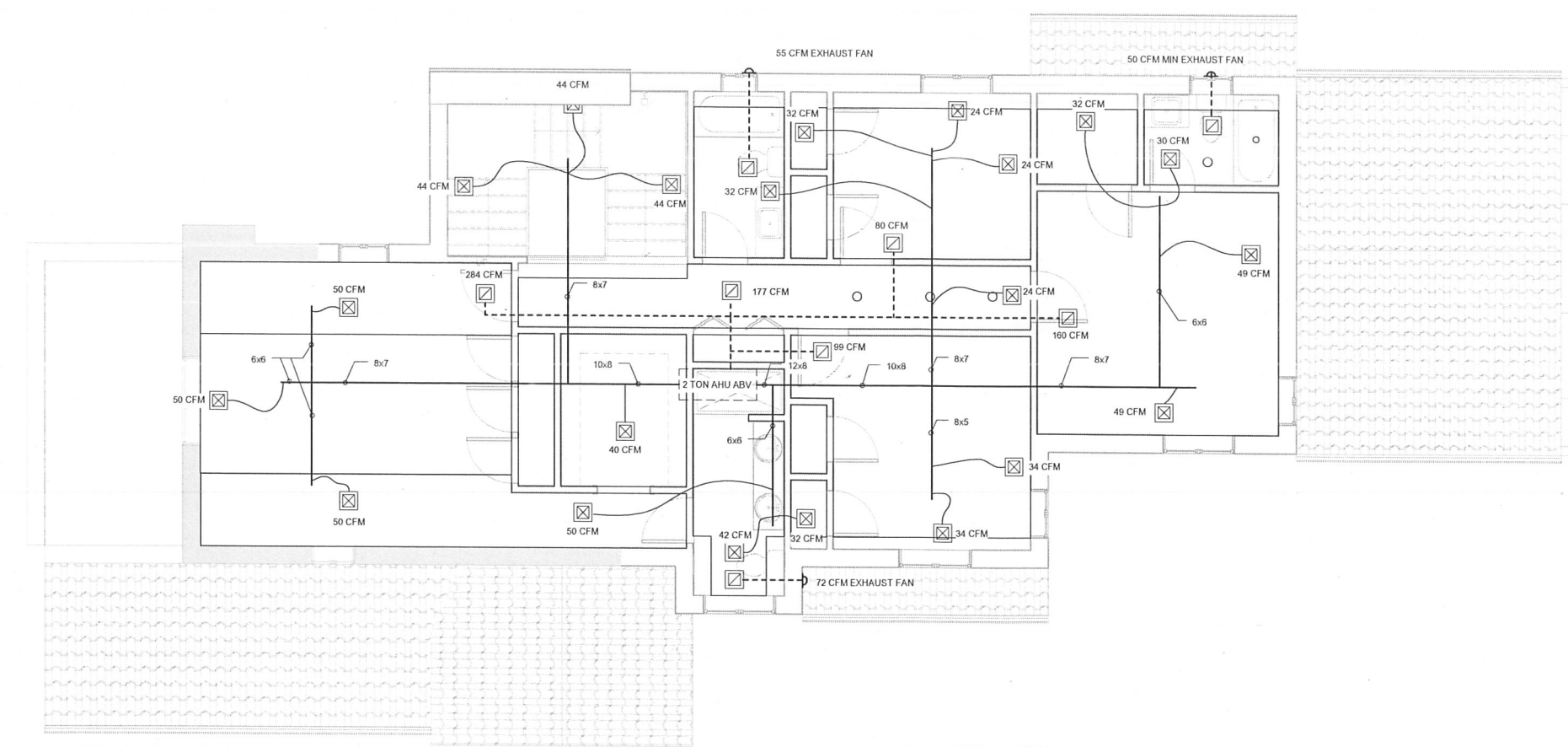
FULL-SIZE HALF-SIZE
 As indicated

ABT | BR

Bill & Sydney Bray
 PERMIT SET
 BRAY RESIDENCE

DESIGNED BY
R. MICHAEL CROSS
DESIGN GROUP

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2nd FLOOR - MECHANICAL
A201 M102 1/4" = 1'-0"

MECHANICAL LEGEND

- CEILING RETURN
- CEILING SUPPLY GRILLE
- EXHAUST FAN W/ TIMER
- WALL SUPPLY GRILLE
- WALL RETURN
- SUPPLY DUCT
- RETURN DUCT



REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW:	JJB
CHECK:	RMC

30 MAY 2013

MECHANICAL

M102

FULL-SIZE	HALF-SIZE
1/4" = 1'-0"	

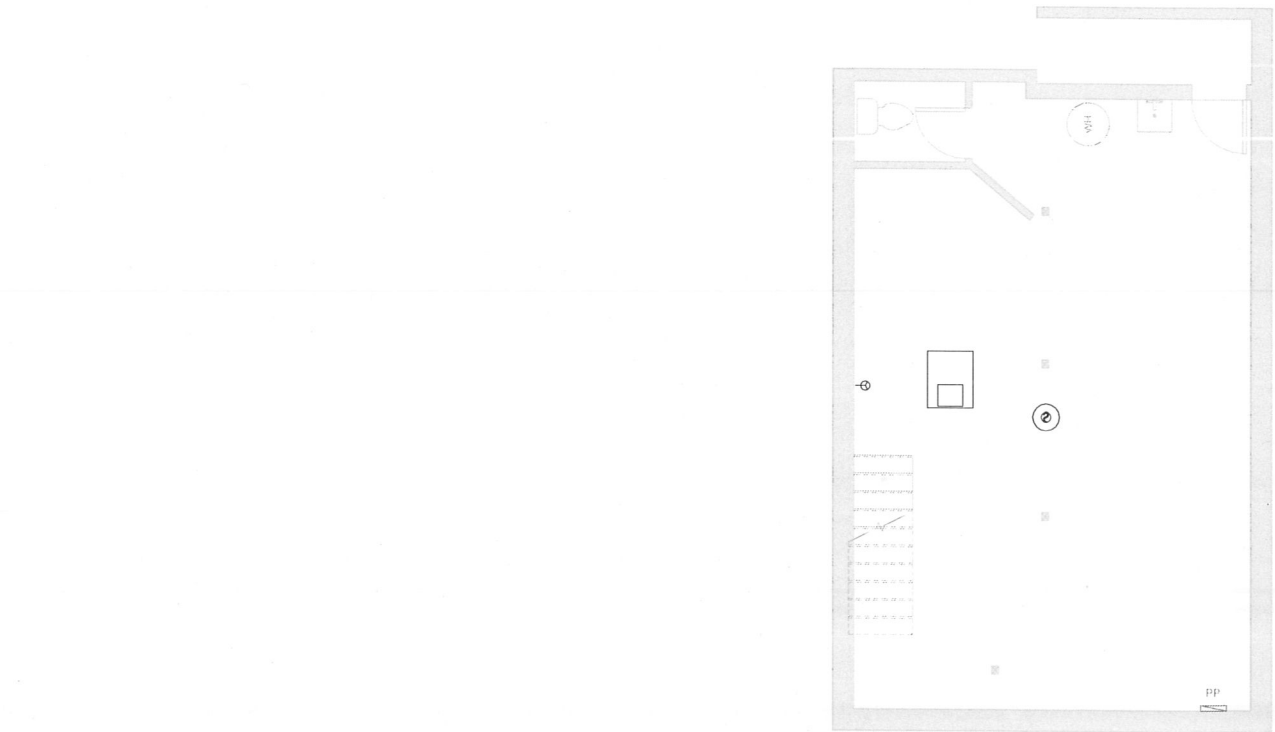
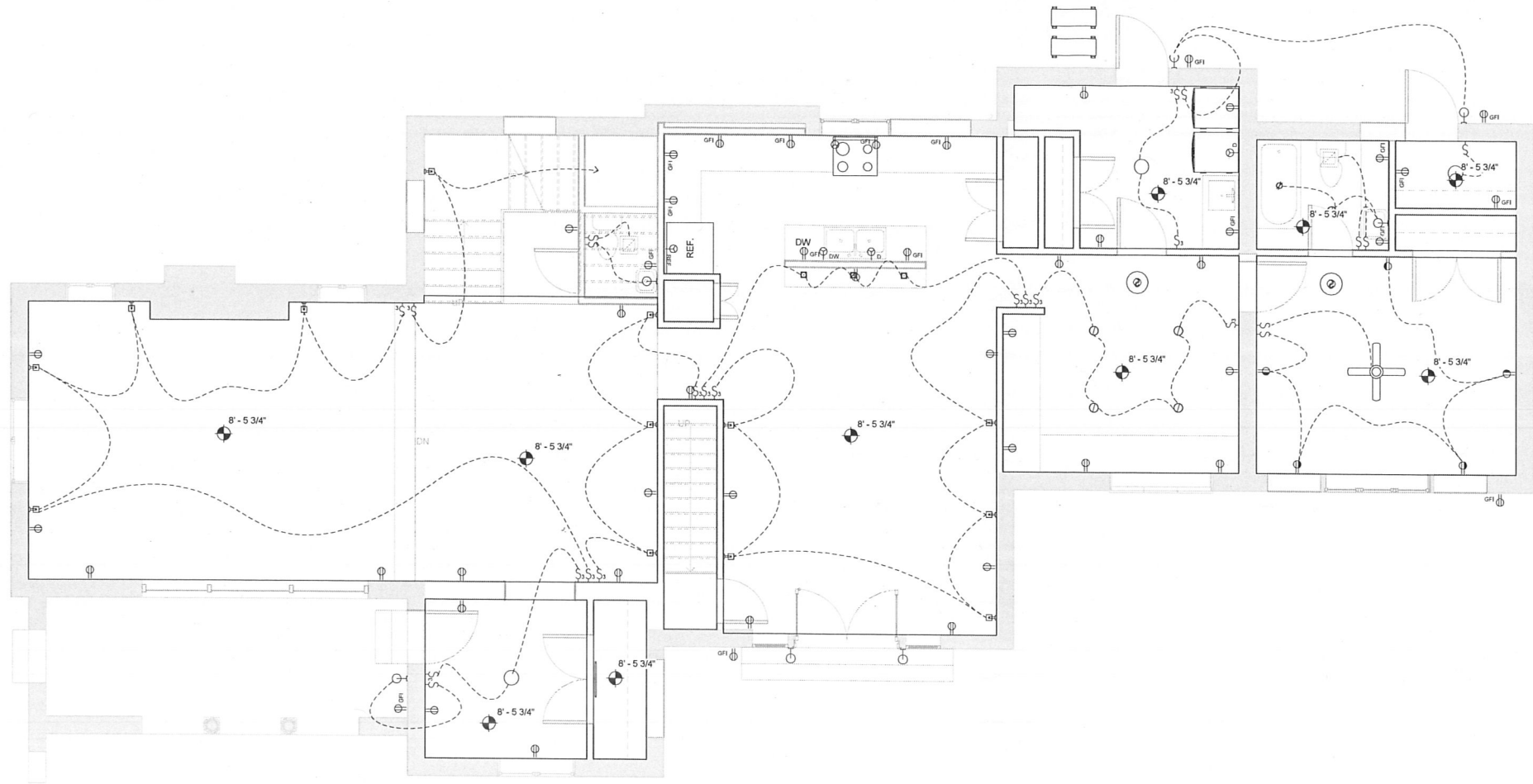
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Bill & Sydney Bray
PERMIT SET
BRAY RESIDENCE

R. MICHAEL CROSS
DESIGNED BY
DESIGN GROUP

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2 1st FLOOR - ELECTRICAL
A301 E101 1/4" = 1'-0"



1 00 BASEMENT - ELECTRICAL
A300 E101 1/4" = 1'-0"

GENERAL NOTES

- ALL EXHAUST FANS TO BE SWITCHED VIA PUSH BUTTON TIMERS, LEVITON 6260M OR SIM.
- GARBAGE DISPOSAL TO BE EQUIPPED WITH PNEUMATIC SWITCH IN COUNTER
- POWER REQ. & LOCATION FOR ALL APPLIANCES TO BE COORDINATED WITH MANUFACTURER SPEC. PRIOR TO ROUGH IN
- ALL CLOSETS TO RECEIVE LINEAR FLOURESCENT FIXTURES ON WALL OVER DOOR WITH MOTION SENSING SWITCH ON CEILING ABOVE

ELECTRICAL LEGEND

- JUNCTION BOX
- FLUORESCENT LIGHT
- RECESSED HALOGEN LAMP
- RECESSED CAN LIGHT
- WALL MOUNTED LAMP
- DUPLEX OUTLET
- DUPLEX OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTER
- DUPLEX OUTLET - SWITCHED
- SPECIALTY OUTLET
- SWITCH
- SWITCH - TIMER
- SWITCH - THREE WAY
- THERMOSTAT
- SMOKE DETECTOR, HARDWIRED & INTERCONNECTED



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ELECTRICAL

E101

FULL-SIZE HALF-SIZE
As indicated

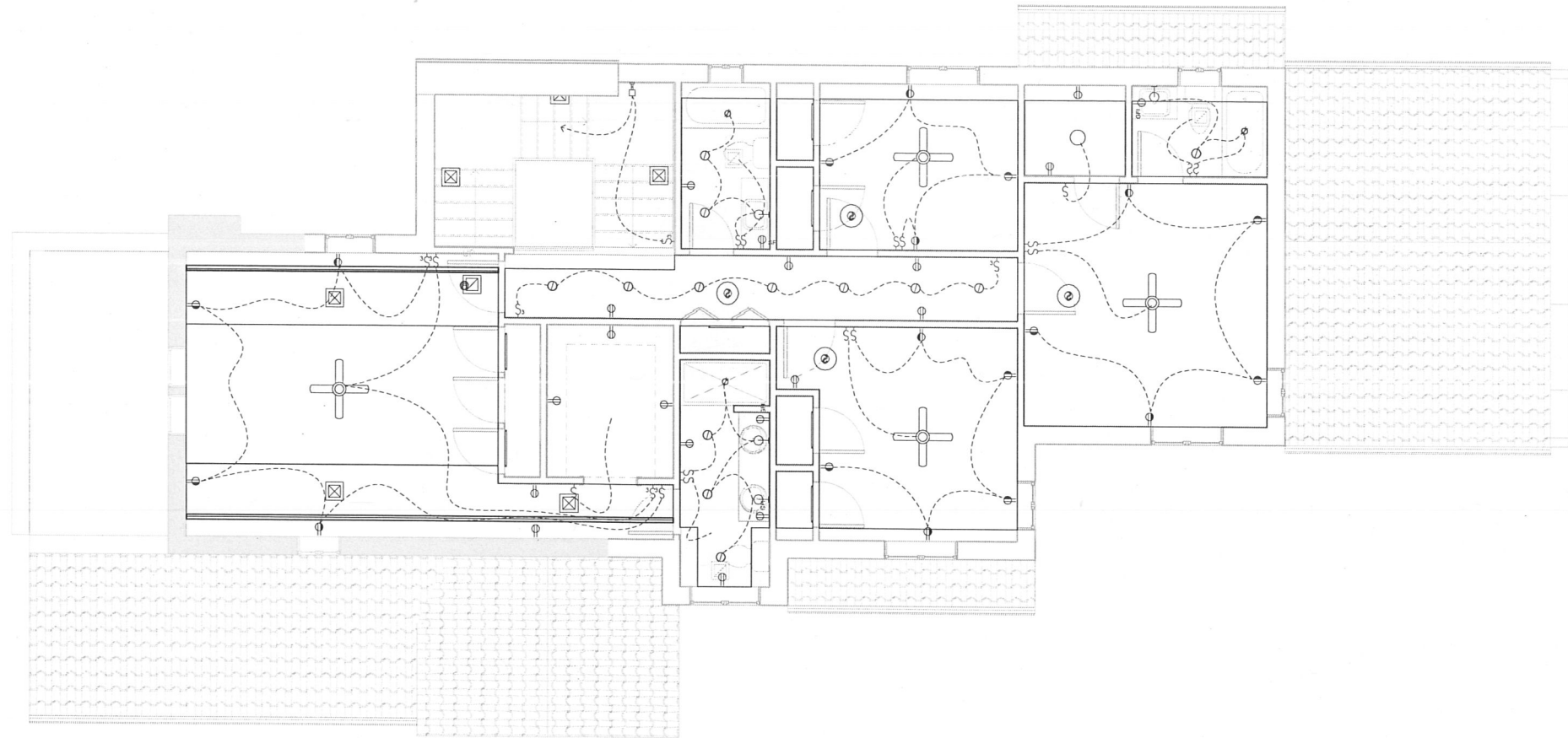
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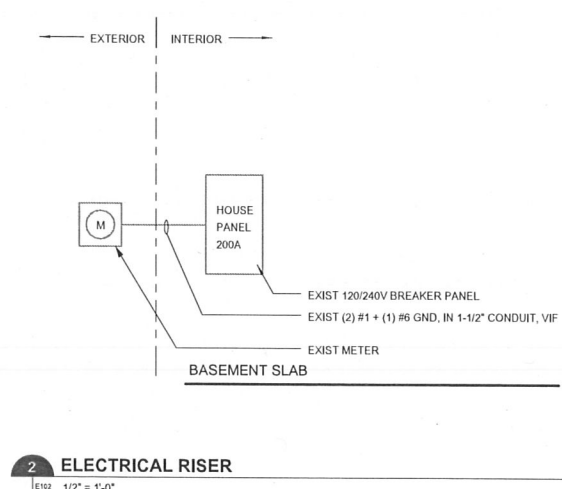


1 2nd FLOOR - ELECTRICAL
A201 E102 1/4" = 1'-0"

Electrical Load Calculation				
Location:				
A. Lighting and General Use Circuits		QTY	@	Watts
		2978	@	3 watts / SF
				8,934
B. Small Appliance Circuits				
Kitchen Small Appliance Circuits		2	@	1500 watts
Laundry Small Appliance Circuits		1	@	1500 watts
Additional Small Appliance Circuits		0	@	1500 watts
				Subtotal B
				4,500
C. Dedicated Circuits				
Range		1	@	8000 watts
Water Heater		1	@	5000 watts
Clothes Dryer		1	@	4000 watts
Dishwasher		1	@	1500 watts
Microwave		1	@	1200 watts
Refrigerator		1	@	600 watts
Disposal		1	@	900 watts
Compactor		0	@	900 watts
Jetted Tub		1	@	1500 watts
				Subtotal C
				22,700
D. General Load				36,134
E. Derated Load				20,454
F. Heating & Cooling				
Heating				15,000
Cooling				10,000
G. Total Electrical Load				35,454
H. Service Amps Required				148

MAIN PANEL									
					Volts: 120v - 240v				
					Mains: 200 amp				
					Bus: <See Riser>				
No.	Serving	Circuit Breaker	Tripp	Pole Volt	KVA	KVA	Circuit Breaker	Tripp	Serving
1	DRYER	30	2	240			240	2	OVEN
3									
5	COMPRESSOR	30	2	240			240	2	AHU
7									
9	KITCHEN REC	20	1	120			120	1	KITCHEN REC
11	LAUNDRY REC	20	1	120			120	1	MICROWAVE
13	DISHWASHER	20	1	120			120	1	REFRIGERATOR
15	DISPOSAL	20	1	120			120	1	COOKTOP
17	POWDER	20	1	120			120	1	EXTERIOR
19	G BATH	20	1	120			120	1	RECEPTILES
21	M BATH	20	1	120			120	1	RECEPTILES
23	LIGHTS	20	1	120			120	1	RECEPTILES
25	LIGHTS	20	1	120			120	1	RECEPTILES
27	LIGHTS	20	1	120			120	1	RECEPTILES
29	SPARE	20	1	120			120	1	SPARE
31	BLANK								BLANK
33	BLANK								BLANK
35	BLANK								BLANK
37	BLANK								BLANK
39	BLANK								BLANK
41	BLANK								BLANK

NOTE: ALL NEW BEDROOM RECEPTACLES TO BE ON AFCI BREAKERS



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ELECTRICAL

E102

FULL-SIZE HALF-SIZE
As indicated

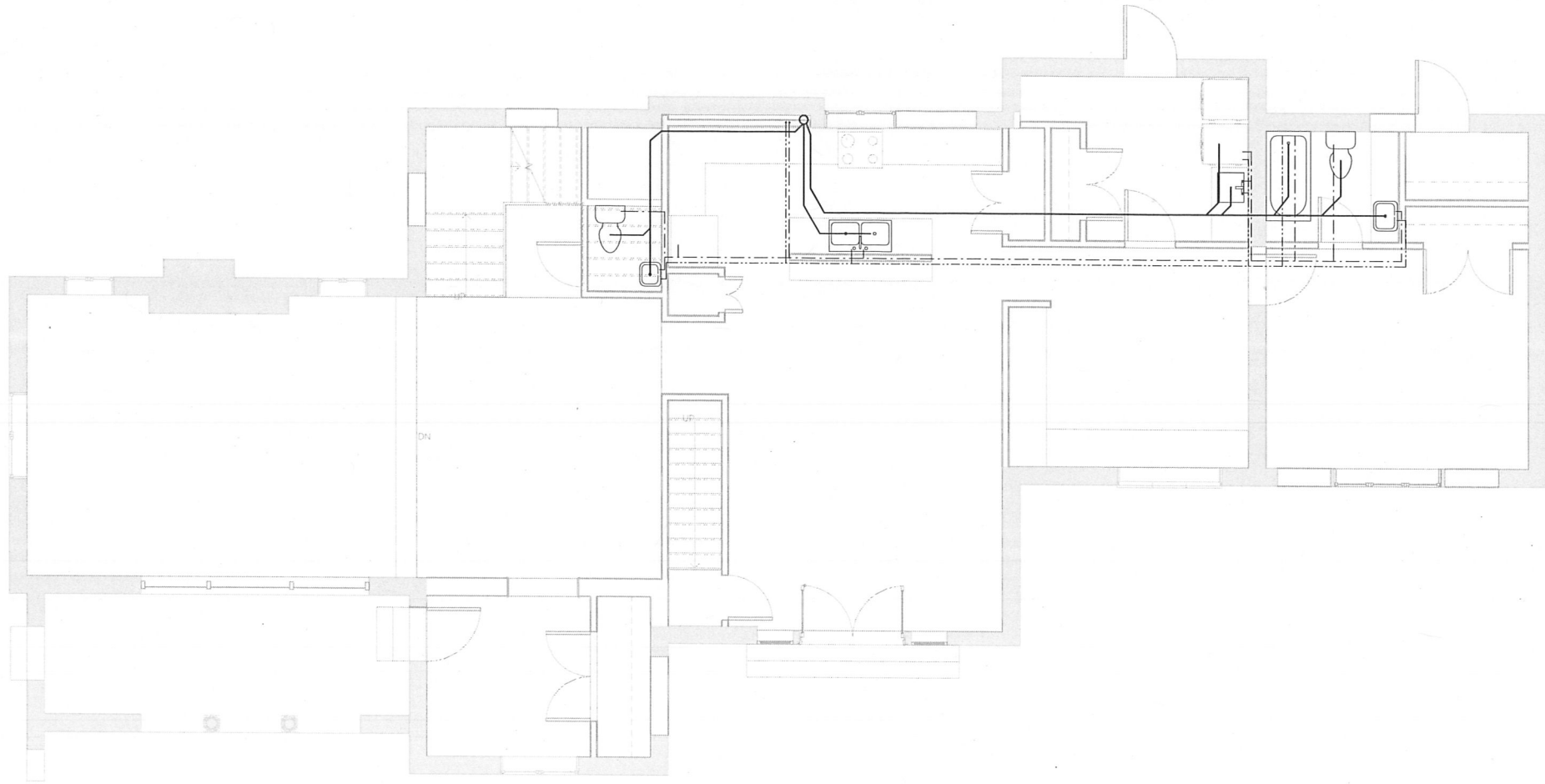
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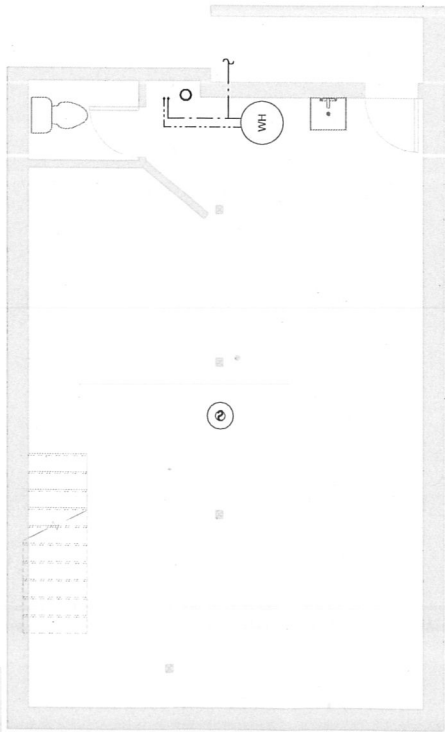
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2 1st FLOOR - PLUMBING
A201 P101 1/4" = 1'-0"



1 00 BASEMENT - PLUMBING
A300 P101 1/4" = 1'-0"

GENERAL NOTES

- ALL NEW HOT WATER LINES TO BE INSULATED
- ALL NEW SUPPLY LINES IN EXTERIOR WALLS TO BE INSULATED
- ALL NEW FIXTURES TO BE VENTED BACK TO EXISTING RISER
- LOCATION OF RANGE GAS VALVE TO BE COORDINATED WITH UNIT SPECS

PLUMBING LEGEND

COLD WATER	----
HOT WATER	----
VENT	----
SANITARY	----
GAS	----



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PLUMBING

P101

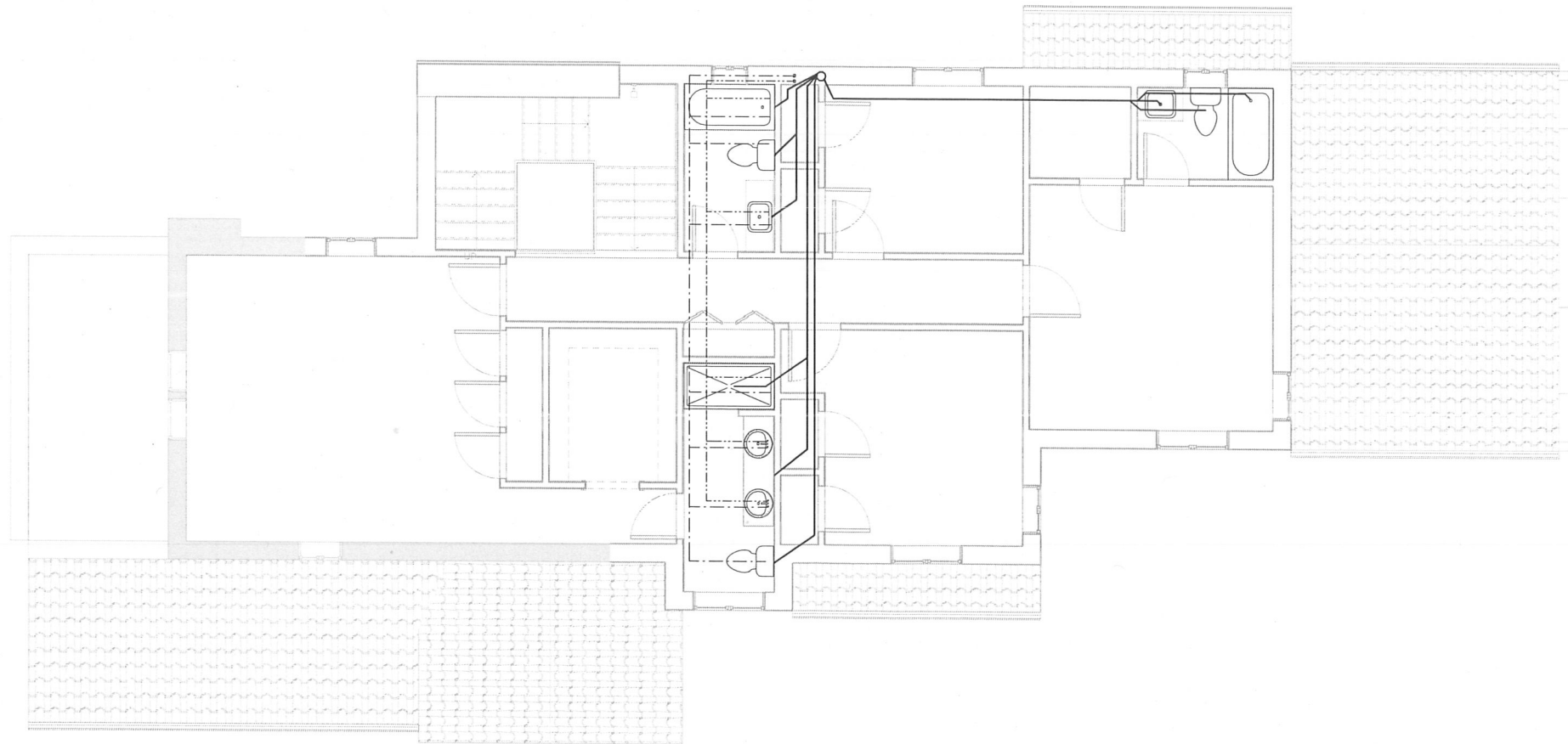
FULL-SIZE	HALF-SIZE
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■ ■ DESIGN GROUP

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1 2nd FLOOR - PLUMBING
A201 P102 1/4" = 1'-0"



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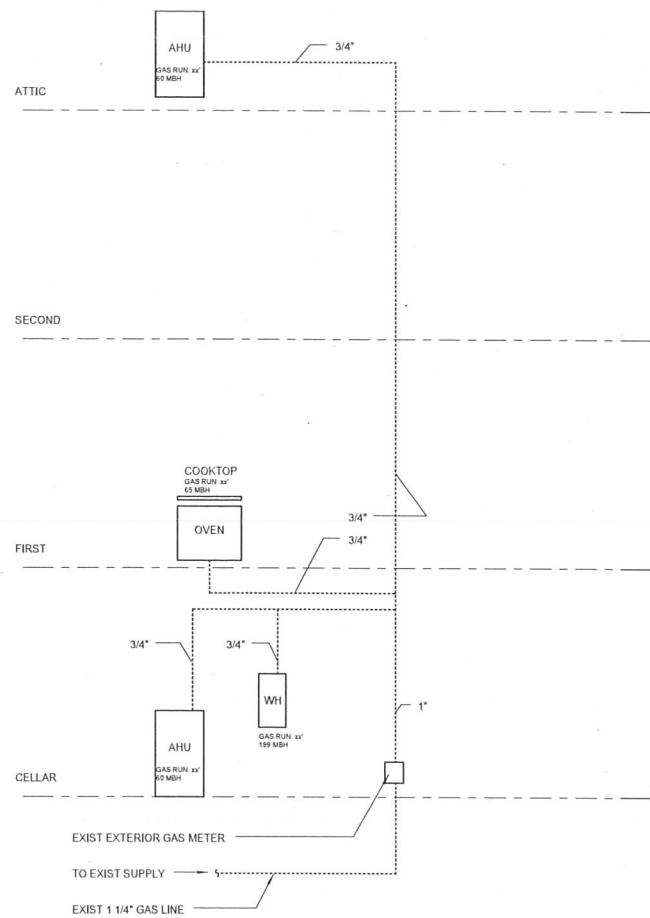
PLUMBING

P102

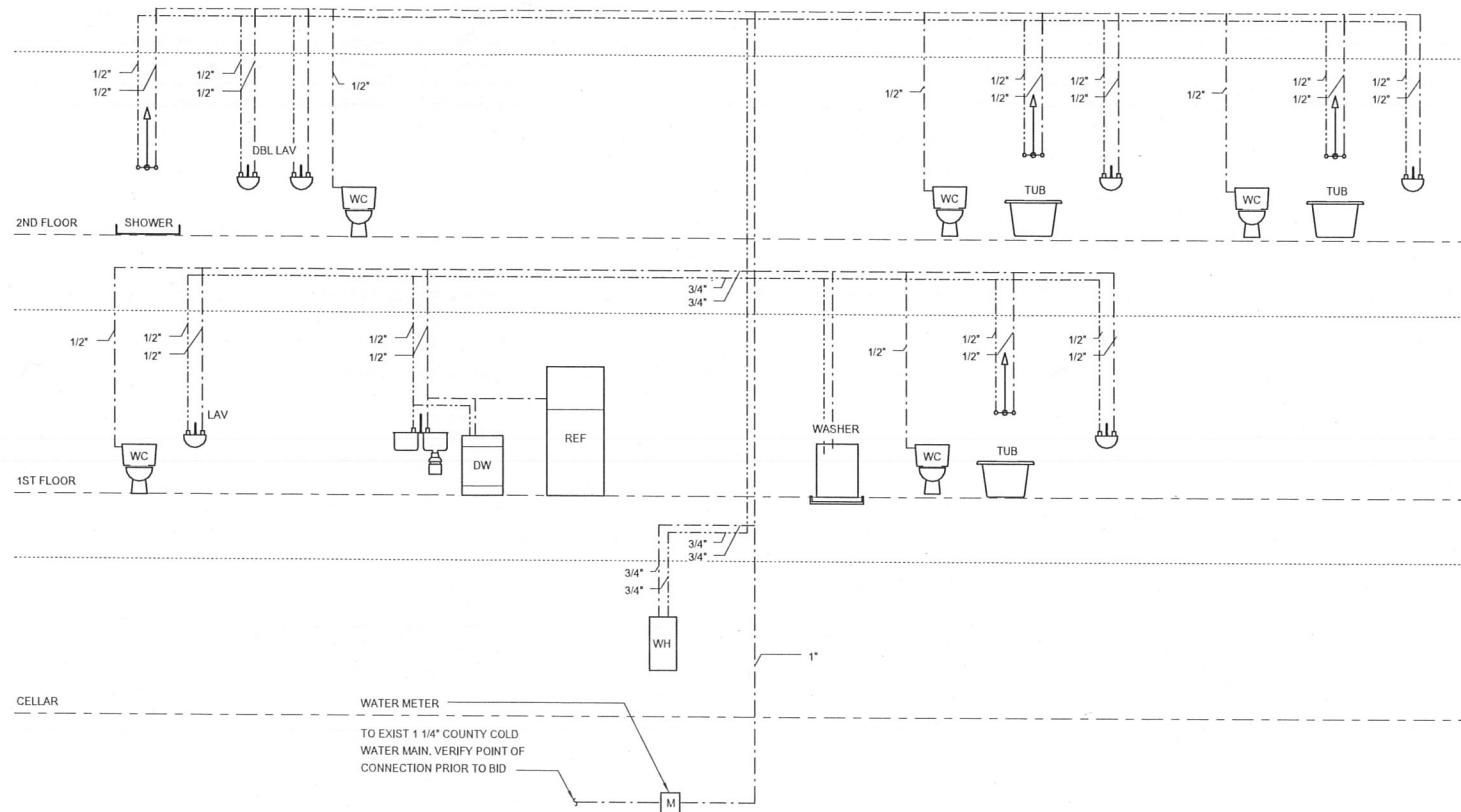
FULL-SIZE HALF-SIZE
1/4" = 1'-0"

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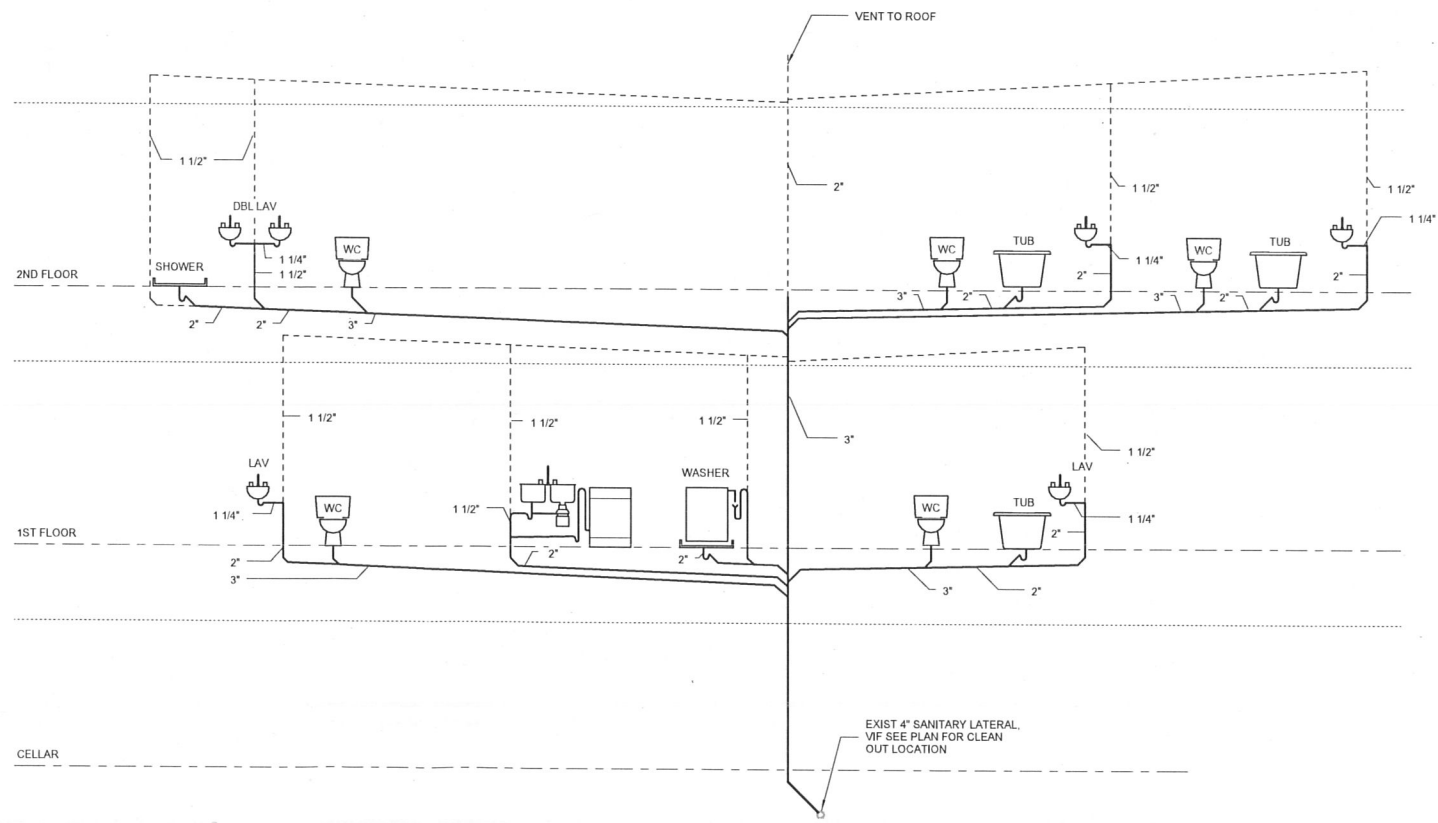
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1 GAS RISER
P103 1/4" = 1'-0"



3 SUPPLY STACK
P103 1/4" = 1'-0"



2 SANITARY STACK
P103 1/4" = 1'-0"



ALLEN BUILT INC.

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

DRAW: JJB
 CHECK: RMC
30 MAY 2013
PLUMBING RISERS
P103
 FULL-SIZE HALF-SIZE
 1/4" = 1'-0"

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